

**29 WALL STREET  
FOXBOROUGH, MASSACHUSETTS**

## PROJECT TEAM



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1	2/21/2018	TOWN & PEER REVIEW COMMENT
REV	DATE	DESCRIPTION

ISSUE TYPE:  
**PERMIT**

ISSUE DATE:  
11.14.2017

PROJECT NUMBER:  
17006

DRAWN BY: AK

CHECKED BY: J

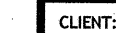
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SHEET TITLE

# TITLE SHEET

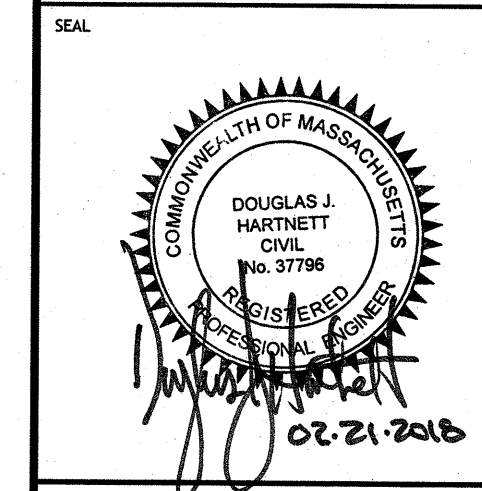
SHEET NUMBER

# T100



**CHARLES RIVER EQUITY  
PARTNERS, LLC**  
21 MILLER STREET, MEDFIELD MA 02052

CONSULTANT



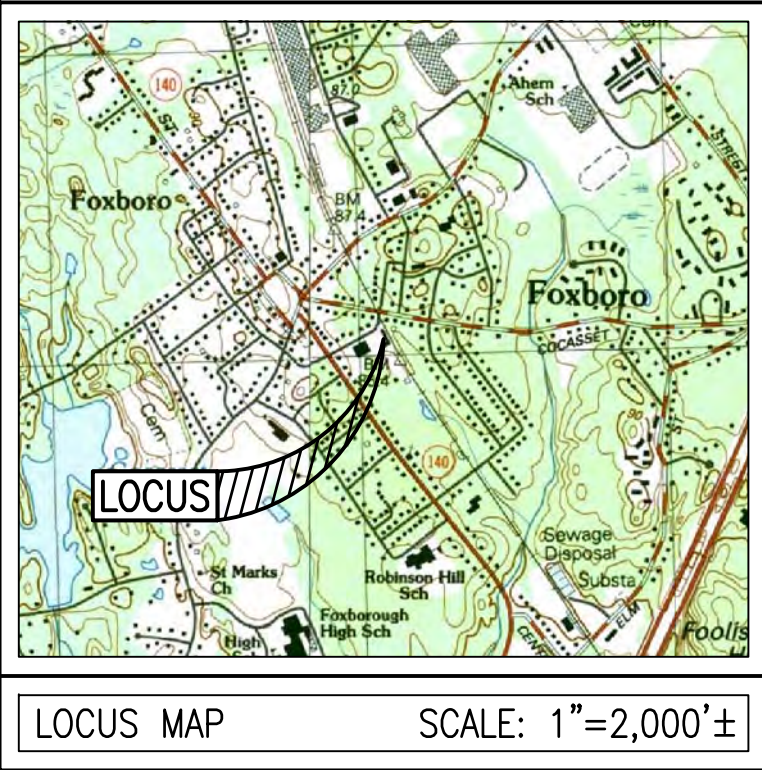
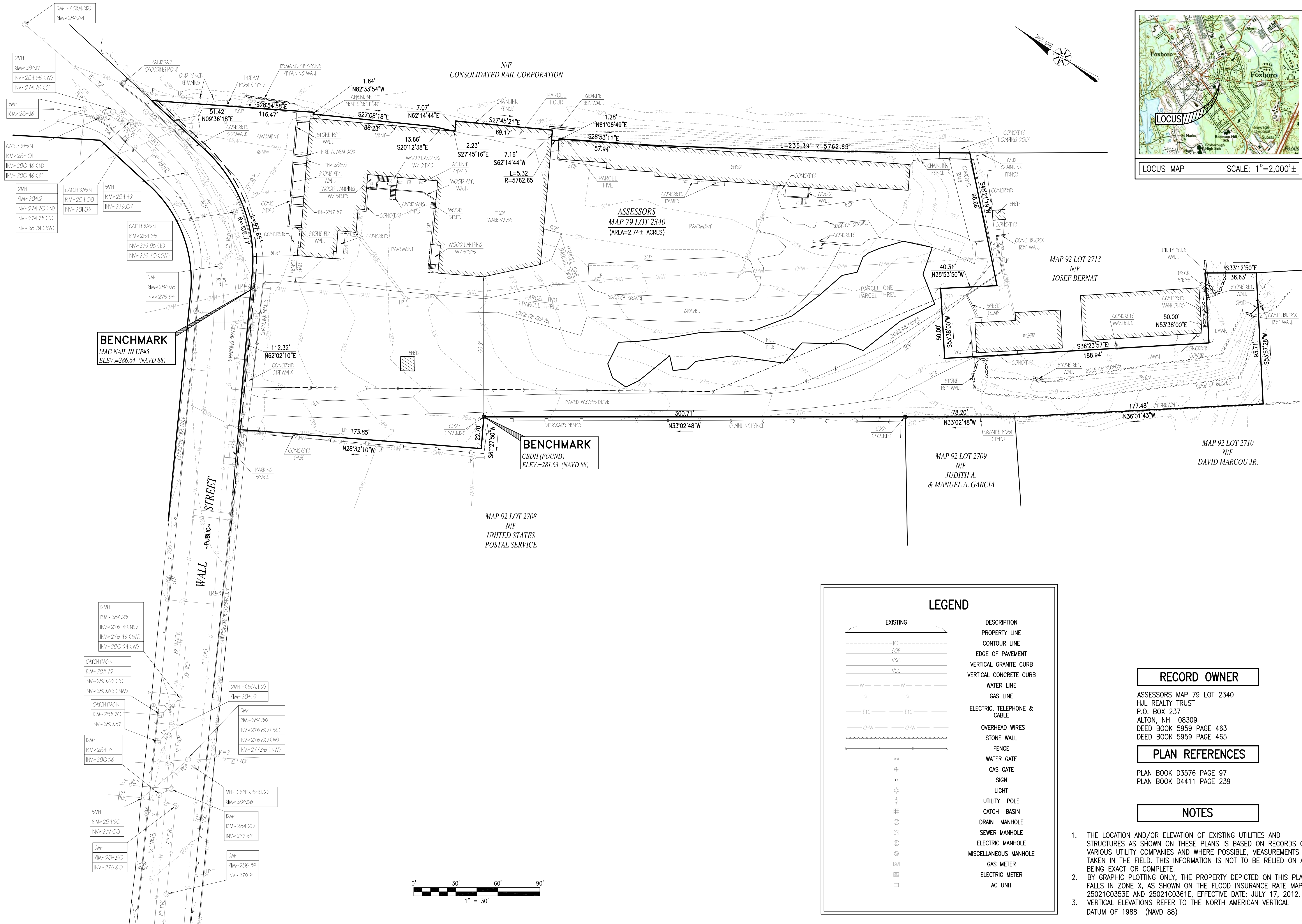
**PROPOSED MIXED - USE DEVELOPMENT**

229 WALL STREET  
FOXBOROUGH, MA 02035

**OWNER/APPLICANT: CHARLES RIVER EQUITY PARTNERS, LLC**

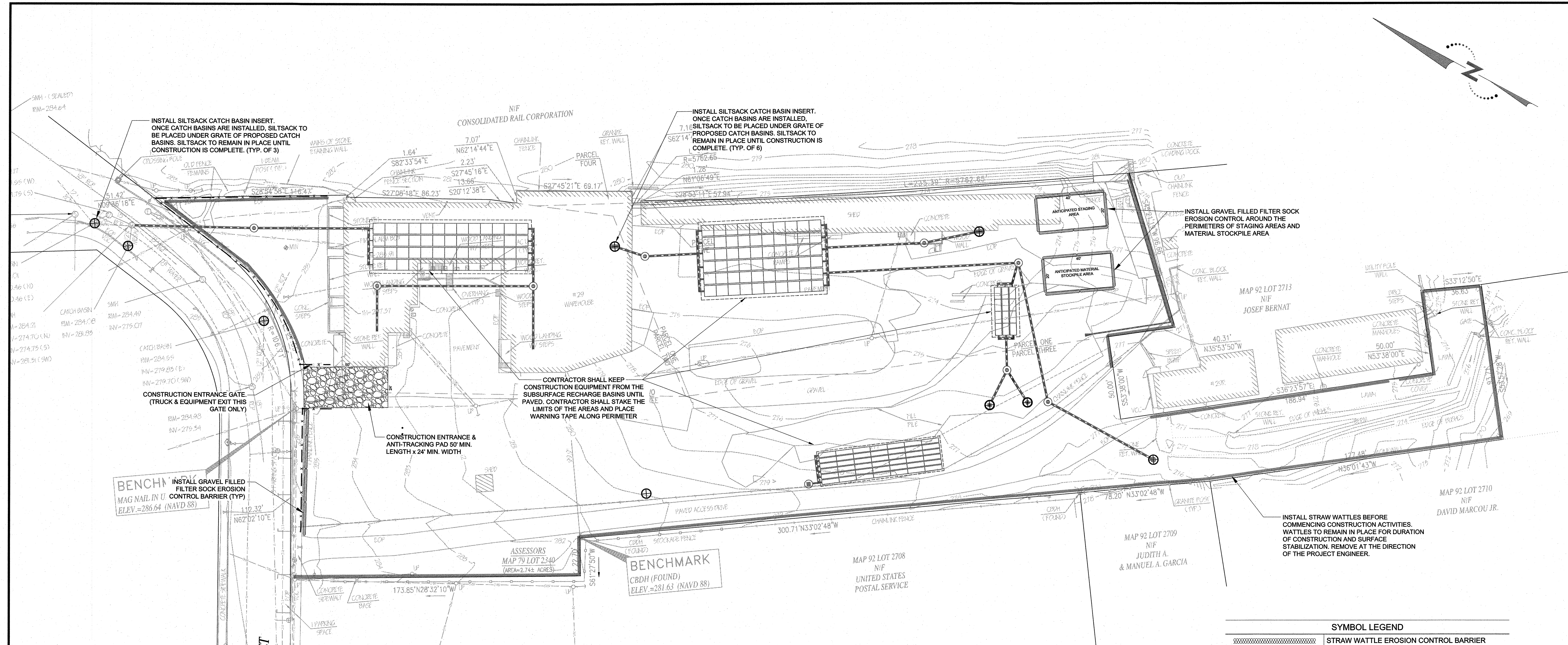
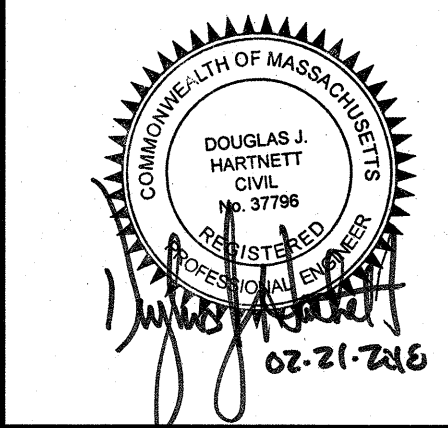


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REVISIONS

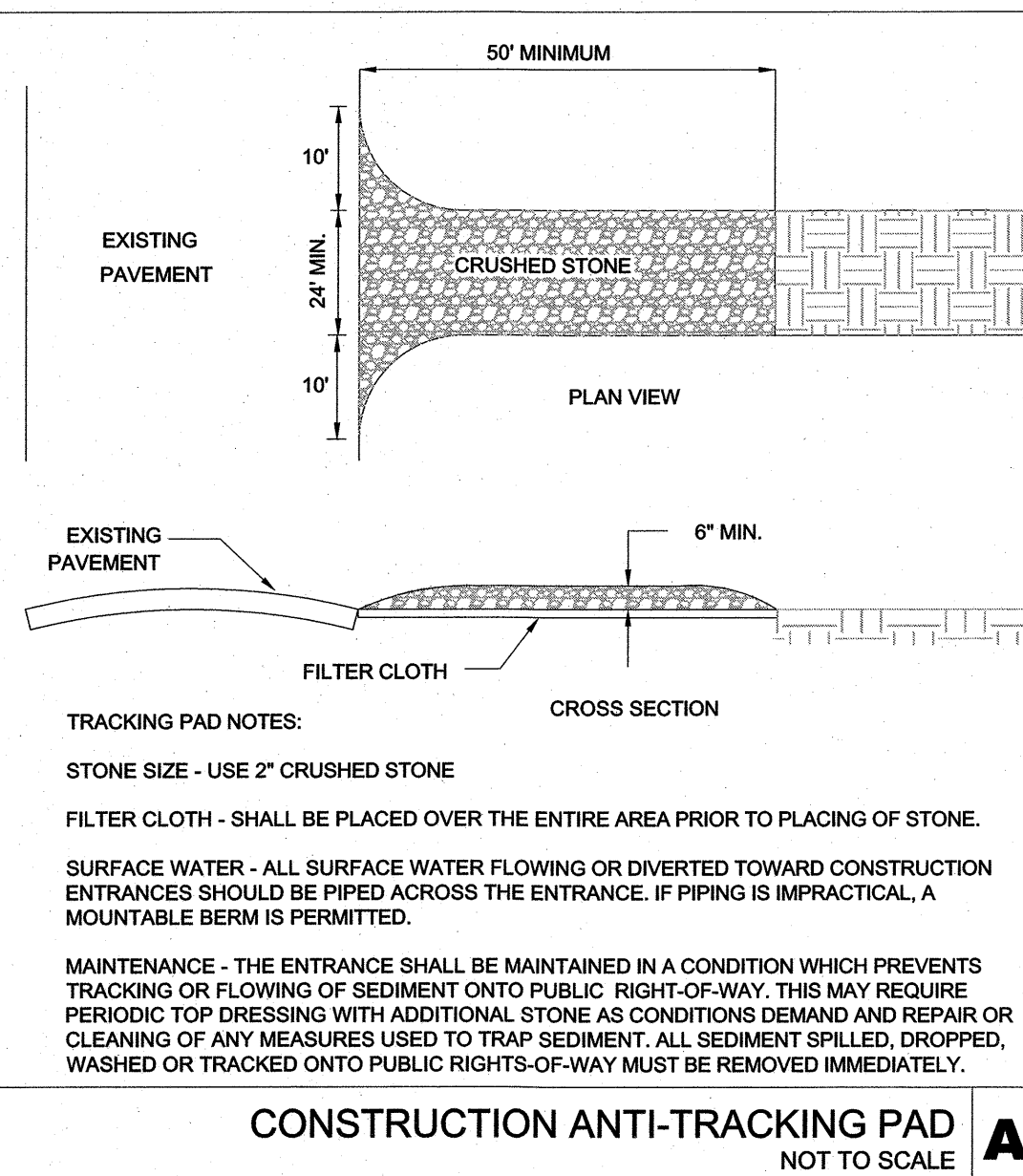




SYMBOL LEGEND	
	STRAW WATTLE EROSION CONTROL BARRIER
	GRAVEL FILLED FILTER SOCK
	SILTSACK CATCH BASIN INSERT
	RIP RAP ANTI-TRACKING PAD
	CONSTRUCTION FENCE
	HAYBALE AND SILTATION FENCE

### EROSION CONTROL NOTES

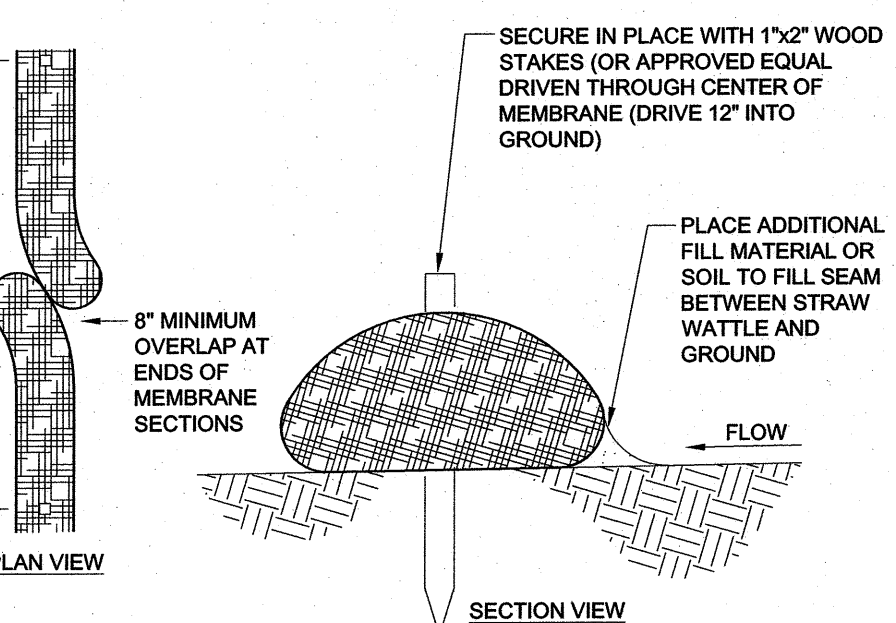
- DISTURBANCE OF SOIL SURFACES SHALL CONFORM TO STATE LAW/REGULATIONS. ALL WORK SHALL COMPLY WITH THE CRITERIA OUTLINED TO PREVENT OR MINIMIZE SOIL EROSION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TIMELY INSTALLATION, INSPECTION, REPAIR AND REPLACEMENT OF ALL EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION.
- THE CONTRACTOR SHALL COMPLY WITH ALL TOWN OF FOXBOROUGH, STATE OF MASSACHUSETTS AND FEDERAL REGULATIONS IN CONSTRUCTING THE EROSION AND SEDIMENTATION CONTROLS INDICATED ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DRAINAGE SWALES, TEMPORARY SEDIMENT BASINS AND OTHER METHODS TO MANAGE THE STORMWATER RUNOFF FROM THE SITE THROUGHOUT THE DURATION OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN ROADS, CONTROL DUST, AND TAKE WHATEVER MEASURES NECESSARY TO ENSURE THAT ALL ROADS ARE MAINTAINED IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
- ANY EXISTING OR PROPOSED STORMWATER DRAINAGE STRUCTURES WHICH MAY BE SUBJECT TO SEDIMENTATION SHALL BE PROTECTED WITH SILTSACKS OR OTHER METHODS AS DIRECTED BY THE PROJECT ENGINEER THROUGHOUT THE CONSTRUCTION PERIOD.
- TEMPORARY SOIL STOCKPILE AREAS AND TRENCH EXCAVATION SPOILS AREAS, SHALL BE PROTECTED WITH A GRAVEL FILLED FILTER SOCK EROSION CONTROL BARRIER. ANY SUCH STOCKPILE AREAS SHALL BE PLACED IN AN APPROPRIATE UPLAND LOCATION AND COMPLETELY REMOVED PRIOR TO PROJECT CLOSE-OUT.
- THE EROSION CONTROL MEASURES SHOWN HEREON SHALL BE CONSIDERED MINIMUM STANDARDS. ACTUAL MEASURES IMPLEMENTED IN THE FIELD SHALL BE IN ACCORDANCE WITH A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) TO BE PREPARED BY THE CONTRACTOR FOR THIS PROJECT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP ON THE SITE, AT ALL TIMES, ADDITIONAL EROSION CONTROL BARRIER MATERIALS FOR EMERGENCY INSTALLATION OR FOR INSTALLATION AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE, THE ENGINEER, OR THE TOWN OF FOXBOROUGH REPRESENTATIVE.
- THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL BARRIER ON A DAILY BASIS, REMOVING WITH HAND TOOLS AND WITHIN THE SAME WORKING DAY ANY DISPLACED TOPSOIL, SUBSOIL OR SEDIMENT THAT HAS ACCUMULATED AT THEIR BASE OR MIGRATED BEYOND THIS LINE. THESE EROSION CONTROL BARRIERS SHALL ALSO BE INSPECTED BOTH PRIOR TO, AND WITHIN A WEEK AFTER, ANY FORECASTED RAINFALL EVENT OF SIGNIFICANT DURATION OR INTENSITY, THE CONTRACTOR AGAIN MAKING REPAIRS AND REMOVING ANY ACCUMULATED SEDIMENT AS NEEDED.
- EROSION CONTROL MATERIALS SHALL REMAIN IN PLACE UNTIL ALL WORK HAS BEEN COMPLETED AND SOILS COMPLETELY STABILIZED, OR AS DIRECTED BY THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL PROTECT ALL NEW DRAINAGE SYSTEMS AND UTILITY SERVICES DURING THE PERIOD OF CONSTRUCTION ACTIVITIES. PARTICULAR PIPING SYSTEMS WITH SHALLOW COVER UNTIL FINAL GRADES AND PAVING IS ESTABLISHED.



SILTSACK® SPECIFICATIONS REGULAR FLOW SILTSACK® (FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	120 LBS
MULLEN BURST	ASTM D-3796	800 PSI
TRAPEZOID TEAR	ASTM D-4633	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPROXIMATE OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

### SILTSACK INLET PROTECTION DEVICE

NOT TO SCALE



- NOTES:
- WATTLES SHALL BE 8\"/>

### STRAW WATTLE EROSION CONTROL BARRIER

NOT TO SCALE

### GRAVEL FILLED FILTER SOCK

NOT TO SCALE

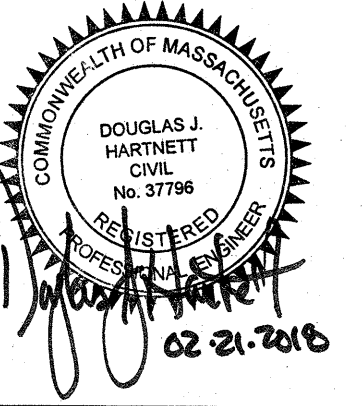


**IENT:**

**CHARLES RIVER EQUITY  
PARTNERS, LLC**  
21 MILLER STREET, MEDFIELD MA 02052

CONSULTANT:

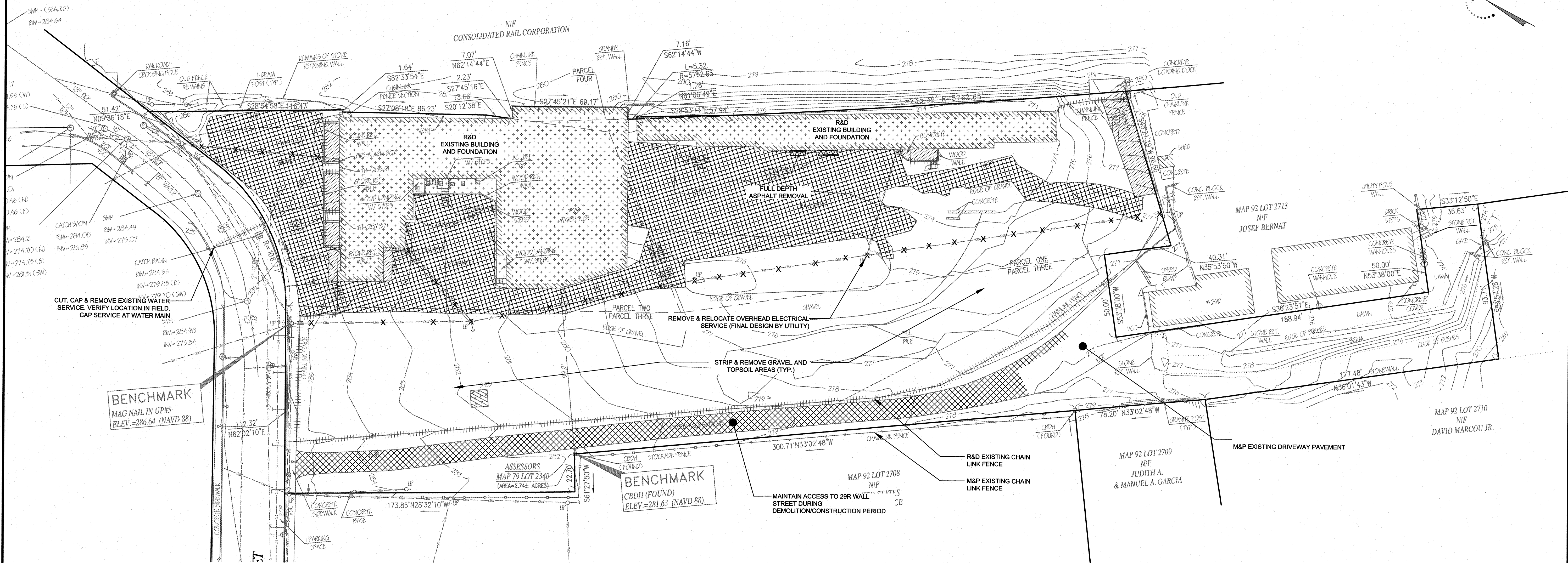
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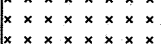
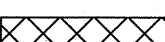
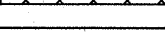



# PROPOSED MIXED - USE DEVELOPMENT

29 WALL STREET  
FOXBOROUGH, MA 02035

OWNER/APPLICANT: CHARLES RIVER EQUITY PARTNERS, LLC



DEMOLITION LEGEND			
	EXISTING BUILDING REMOVAL	R&D	REMOVE & DISPOSE
	BITUMINOUS CONCRETE/ PAVEMENT REMOVAL	M&P	MAINTAIN & PROTECT
	CONCRETE PAD REMOVAL		
 X	OBJECTS TO BE REMOVED AND DISPOSED		

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING **DIG-SAFE** PRIOR TO THE START ANY DEMOLITION OR CONSTRUCTION FOR LOCATION OF BELOW-GRADE UTILITY SYSTEMS BOTH ON AND OFF THE SITE WITHIN CONSTRUCTION LIMITS.
2. THE CONTRACTOR SHALL OBTAIN ALL DEMOLITION PERMITS REQUIRED FROM THE TOWN OF FOXBOROUGH.
3. DURING THE CONSTRUCTION PHASE, METAL DUMPSTER TYPE WASTE DISPOSAL RECEPTACLES SHALL BE LOCATED ON SITE.
4. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERMITTEE OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE.
5. CONSTRUCTION/DEMOLITION DEBRIS SHALL BE RECYCLED TO THE EXTENT POSSIBLE. CONSTRUCTION/DEMOLITION DEBRIS SUITABLE FOR RECYCLING SHALL BE SEPARATED FROM THE WASTE STREAM AND STORED IN METAL DUMPSTER DESIGNATED FOR RECYCLING MATERIAL ONLY. CONSTRUCTION/DEMOLITION WASTE SHALL BE SEPARATED ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEPARATION AND HAULING OF THE RECYCLABLE AND WASTE MATERIAL.
6. ASPHALT FROM THE EXISTING PARKING LOT SHALL BE REMOVED AND LEGALLY DISPOSED OFF SITE.
7. REMOVAL OF COMMERCIAL SOLID WASTE SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
8. ANY ITEMS OR MATERIALS ABOVE OR BELOW GRADE INDICATED AS "PROTECT (M&P)" SHALL REMAIN IN PLACE AND PROTECTED FROM DAMAGE THROUGHOUT CONSTRUCTION. DAMAGED ITEMS INDICATED TO BE PROTECTED (M&P) SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
9. ANY ITEMS OR MATERIALS ABOVE OR BELOW GRADE INDICATED AS "REMOVE AND DISPOSE (R&D)" SHALL BE REMOVED/DEMOLISHED AND LEGALLY DISPOSED OFF SITE. NO ITEMS OR MATERIALS SHALL BE DISPOSED OR BURIED ON-SITE.
10. ANY DAMAGE TO ITEMS OR MATERIALS BEYOND THE INDICATED LIMIT OF WORK SHALL BE REPLACED/REPAIRED AT THE CONTRACTORS EXPENSE.
11. CONTRACTOR TO VERIFY ABANDONMENT OF PUBLIC AND PRIVATE UTILITIES PRIOR TO START OF DEMOLITION/CONSTRUCTION AND COORDINATE WITH THE TOWN D.P.W AND UTILITY SERVICE PROVIDER
12. ALL EXCESS EARTH EXCAVATIONS SHALL BE DISPOSED OFF-SITE BY CONTRACTOR.
13. REMOVAL /DISPOSAL OF EXISTING BUILDINGS SHALL INCLUDE ALL BELOW GRADE FOUNDATIONS AND SLABS. NO PART OF FOUNDATIONS AND SLABS SHALL BE BURIED.
14. ALL ORGANIC SOILS, TOPSOIL, LOAM AND LAWNS SHALL BE REMOVED AND DISPOSED OFF SITE.
15. THE CONTRACTOR SHALL DISCONNECT CAP/UGL ALL EXISTING WATER AND SEWER SERVICES SERVING ALL EXISTING BUILDINGS ON SITE. CONTRACTOR TO COORDINATE WITH THE TOWN OF FOXBOROUGH FOR APPROPRIATE DISCONNECT STANDARDS.
16. THE CONTRACTOR SHALL COORDINATE WITH SERVICE PROVIDERS FOR DISCONNECTION (AND CAPPING) OF ALL GAS AND ELECTRICAL SERVICES THAT SERVICE ALL EXISTING BUILDING ON THE SITE

1	2/21/2018	TOWN & PEER REVIEW COMMENTS
REV	DATE	DESCRIPTION

JE TYPE:  
**PERMIT**  
 JE DATE:  
**1.14.2017**  
 JECT NUMBER:  
**7006**

AWN BY: AK  
CHECKED BY: JM

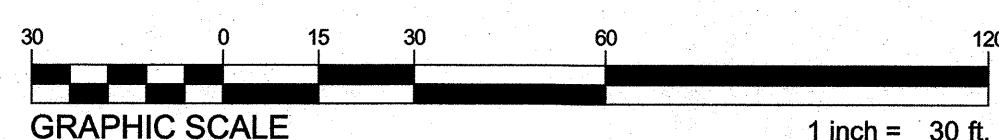
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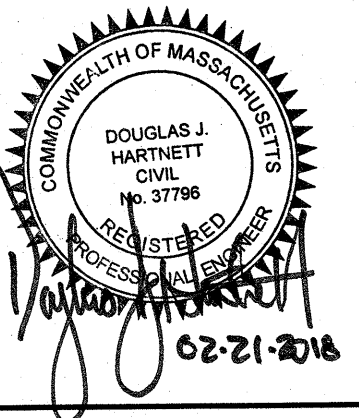
## DEMOLITION PLAN

NUMBER:

# C300







## PROPOSED MIXED - USE DEVELOPMENT

29 WALL STREET  
FOXBOROUGH, MA 02035

OWNER/APPLICANT: CHARLES RIVER EQUITY PARTNERS, LLC

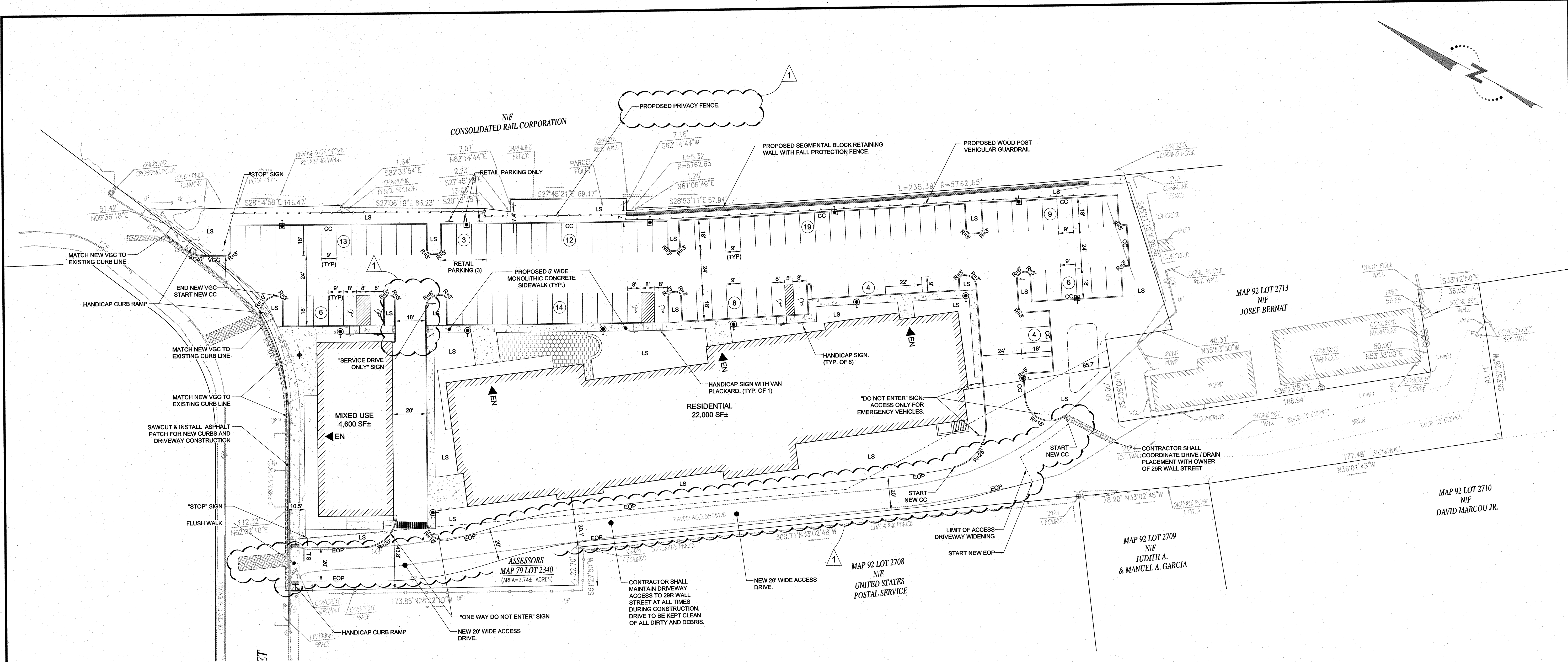
REV	DATE	DESCRIPTION
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1	2/21/2018	TOWN & PEER REVIEW COMMENTS
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ISSUE TYPE:	PERMIT
ISSUE DATE:	11.14.2017
PROJECT NUMBER:	17006

DRAWN BY:	AK
CHECKED BY:	JPM
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SHEET TITLE:	LAYOUT & MATERIALS PLAN
SHEET NUMBER:	C400



### VEHICULAR PARKING REQUIREMENTS (COMMERCIAL)

DESCRIPTION	GSF	USE	REQUIRED NOTES	REQUIRED CALCULATION	PROVIDED PER PLAN
OFFICE	2,800	OFFICE	1 SPACE / 280 GFA	11	-
RETAIL	2,000	RETAIL	1 SPACE / 175 GFA	11	-
	4,800			22	22

### VEHICULAR PARKING REQUIREMENTS (RESIDENTIAL)

DESCRIPTION	UNITS	USE	REQUIRED NOTES	REQUIRED CALCULATION	PROVIDED PER PLAN
1 BEDROOM	25	RESIDENTIAL	1 SPACE / UNIT	25	25
2 BEDROOM	25	RESIDENTIAL	1.5 SPACES / UNIT	38	38
VISITOR PARKING	-	RESIDENTIAL	1 SPACE / 4 UNITS	12	13
	50			75	76

### PARKING SUMMARY (COMMERCIAL)

DESCRIPTION	SIZE		SPACES		COMPLIANCE
	REQUIRED	PROVIDED	REQ./ALLOWED	PROPOSED	
STANDARD SPACES (INCLUDING ACCESSIBLE)	9' x 18'	9' x 18'	20	20	YES
STANDARD ACCESSIBLE PARKING SPACES	8' x 18'	8' x 18'	2	2	YES
aisle width (min.)	24'	24'	-	-	YES
TOTAL SPACES			22	22	YES

### PARKING SUMMARY (RESIDENTIAL)

DESCRIPTION	SIZE		SPACES		COMPLIANCE
	REQUIRED	PROVIDED	REQ./ALLOWED	PROPOSED	
STANDARD SPACES	9' x 18'	9' x 18'	72	72	YES
STANDARD ACCESSIBLE PARKING SPACES	8' x 18'	8' x 18'	4	4	YES
aisle width (min.)	24'	24'	-	-	YES
TOTAL SPACES			76	76	YES

### ZONING SUMMARY CHART

#### ZONING DISTRICT: GENERAL BUSINESS

#### OVERLAY DISTRICT: FOXBOROUGH CENTER OVERLAY DISTRICT (FCOD)

#### ASSESSORS INFORMATION: MAP 92, LOT 2340

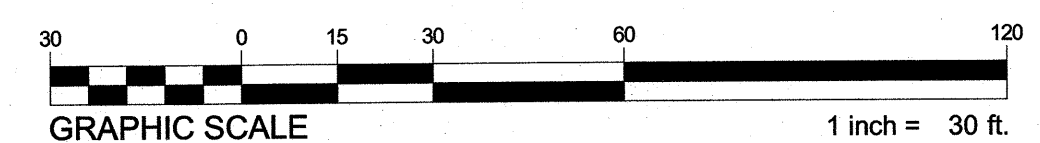
CRITERIA	REQUIRED	EXISTING	PROPOSED	COMPLIANCE
LOT AREA (MIN)	N/A	119,170 SF(1)	N/A	YES
FRONTAGE (MIN)	20 FT	261 FT ±	261 FT ±	YES
FRONT YARD (MIN)	10 FT	31.6 FT ±	10.5 FT ± (MIN)	YES
SIDE YARD (MIN)	10 FT	0 FT	30.1 FT ± (MIN)	YES
REAR YARD (MIN)	10 FT	43.4 FT ±	85.7 FT ± (MIN)	YES
BUILDING HEIGHT (MAX)	3.5 ST/40 FT	-	3 ST/ >60 FT	YES(7)
LOT WIDTH (MIN)	N/A	N/A	N/A	N/A

### NOTES

- THE PURPOSE OF THIS PLAN IS TO DEPICT A REDEVELOPMENT OF THE PROPERTY FOR OFFICE, RETAIL AND RESIDENTIAL USE.  
SITE ADDRESS - 29 WALL STREET, FOXBOROUGH, MA  
ASSESSORS INFORMATION: MAP 079, LOT 2340
- FLOODPLAIN INFORMATION WAS OBTAINED FROM THE FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 25021C0353E. THE SITE IS IN ZONE X OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.
- RETAIL USE ALLOWED BY SPECIAL PERMIT UNDER FOXBOROUGH CENTER OVERLAY DISTRICT (FCOD).
- OFFICE USE ALLOWED BY SPECIAL PERMIT UNDER FOXBOROUGH CENTER OVERLAY DISTRICT (FCOD).
- RESIDENTIAL USE ALLOWED BY SPECIAL PERMIT UNDER FOXBOROUGH CENTER OVERLAY DISTRICT (FCOD).
- EXISTING CONDITIONS INCLUDING PROPERTY LINE AND ABUTTING RIGHT OF WAY TAKEN FROM PLAN ENTITLED EXISTING CONDITIONS PLAN 29 WALL ST, FOXBOROUGH, MA DATED 11/08, 2017 PREPARED BY FARLAND CORP.
- BUILDING HEIGHT IN EXCESS OF 40' BUT LESS THAN 60'. IS ALLOWED BY SPECIAL PERMIT.

### SYMBOL LEGEND

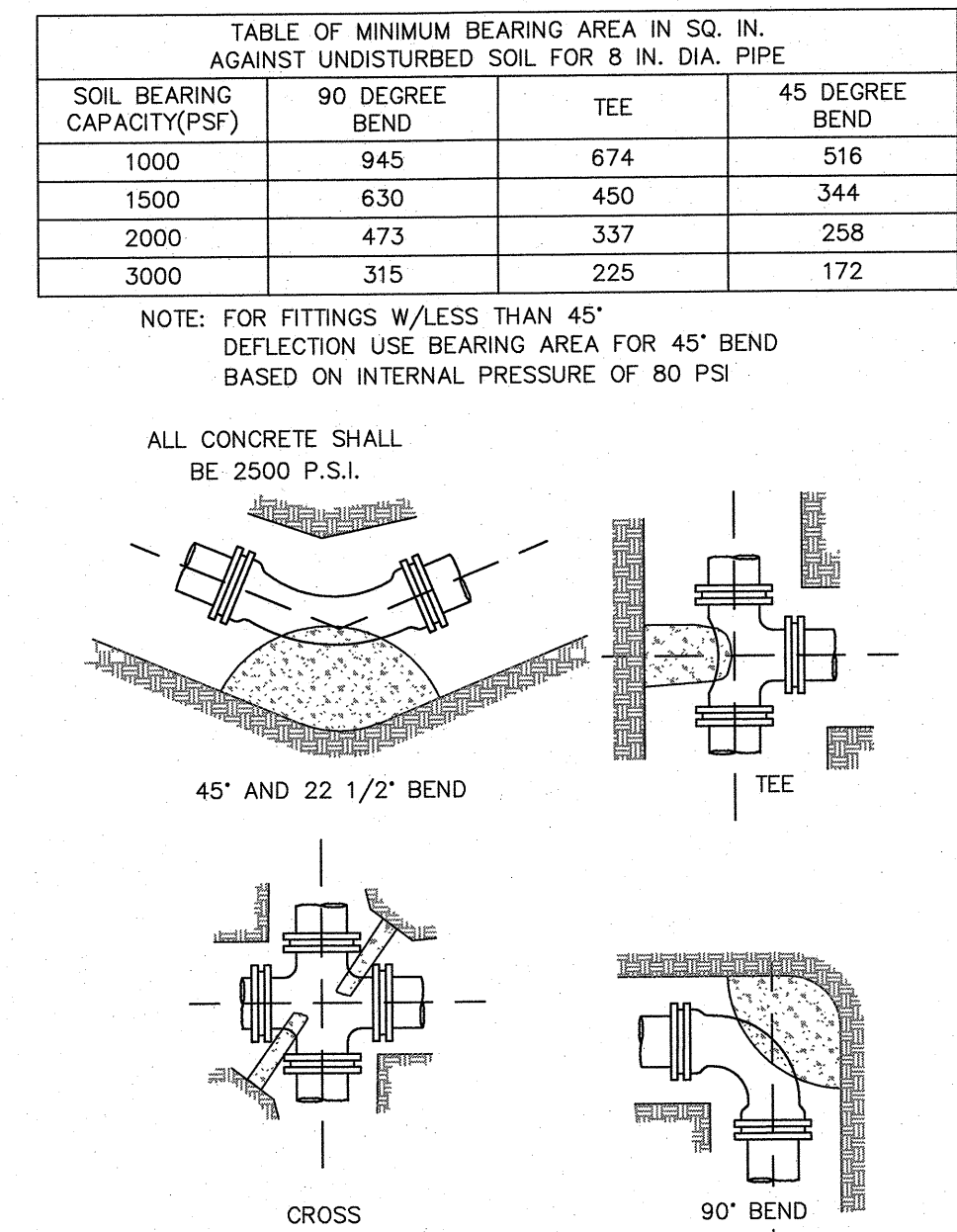
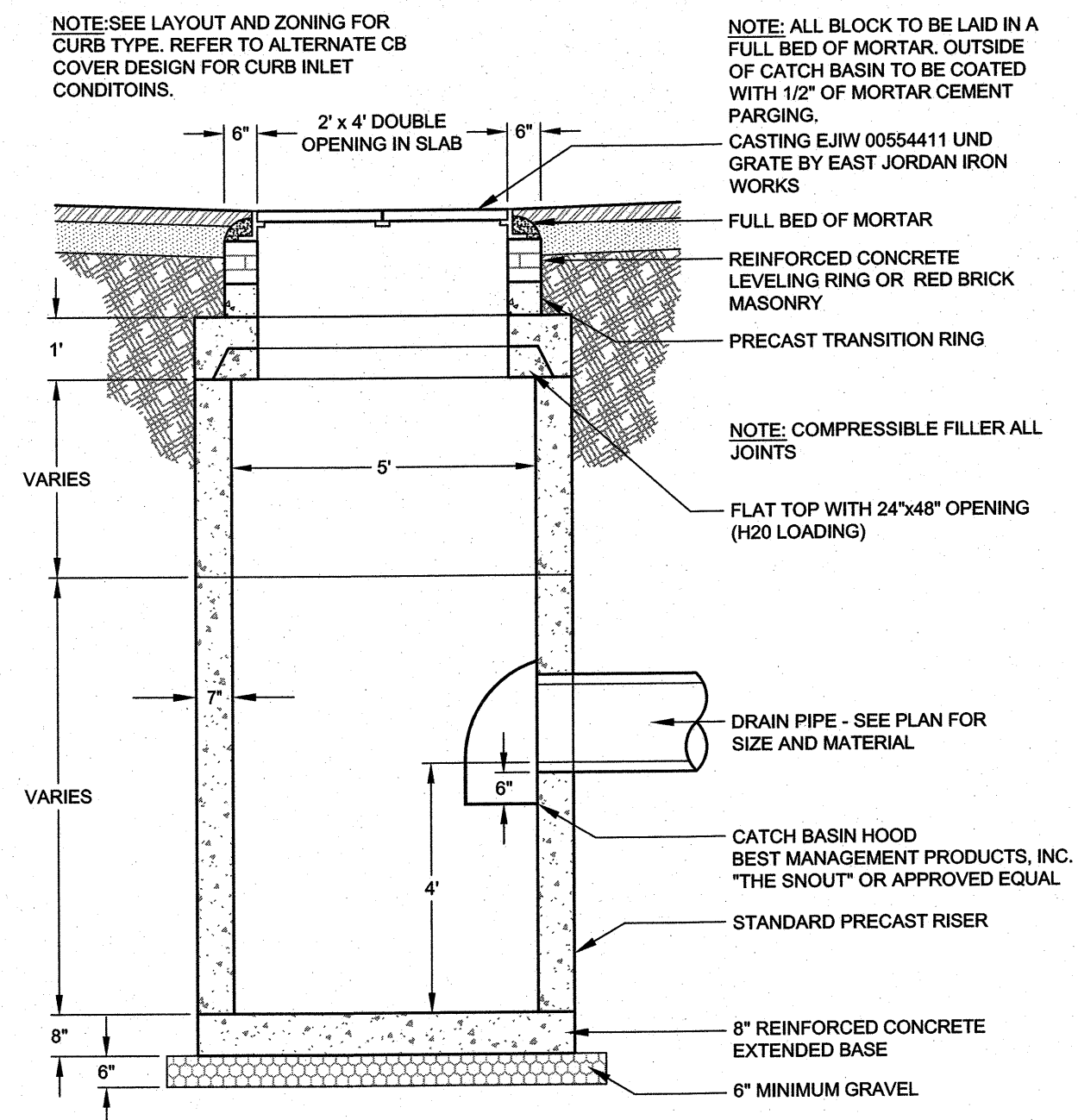
CC	CONCRETE CURB
CCB	CAPE COD BERM
VGC	VERTICAL GRANITE CURB
SGC	SLOPED GRANITE CURB
EOP	EDGE OF PAVEMENT
R=10'	CURB RADIUS
LS	LANDSCAPE AREA
7	HANDICAP PARKING STALL MARKING
7	PROPOSED PARKING STALLS
7	PROPOSED SIGN (SEE PLAN FOR TYPE)
TC	PROPOSED CONCRETE SIDEWALK
TC	TRANSITION CURB
→	TRAFFIC MARKING DIRECTIONAL ARROW (WHITE)
SL	TRAFFIC MARKING STOP LINE (12" WHITE)
→	PROPOSED SAWCUT AND PAVEMENT PATCH AREA
EN	PROPOSED ENTRANCE
→	PROPOSED RETAINING WALL WITH FALL PROTECTION FENCE
→	PROPOSED WOOD POST VEHICULAR GUARDRAIL
EOP	EDGE OF PAVEMENT



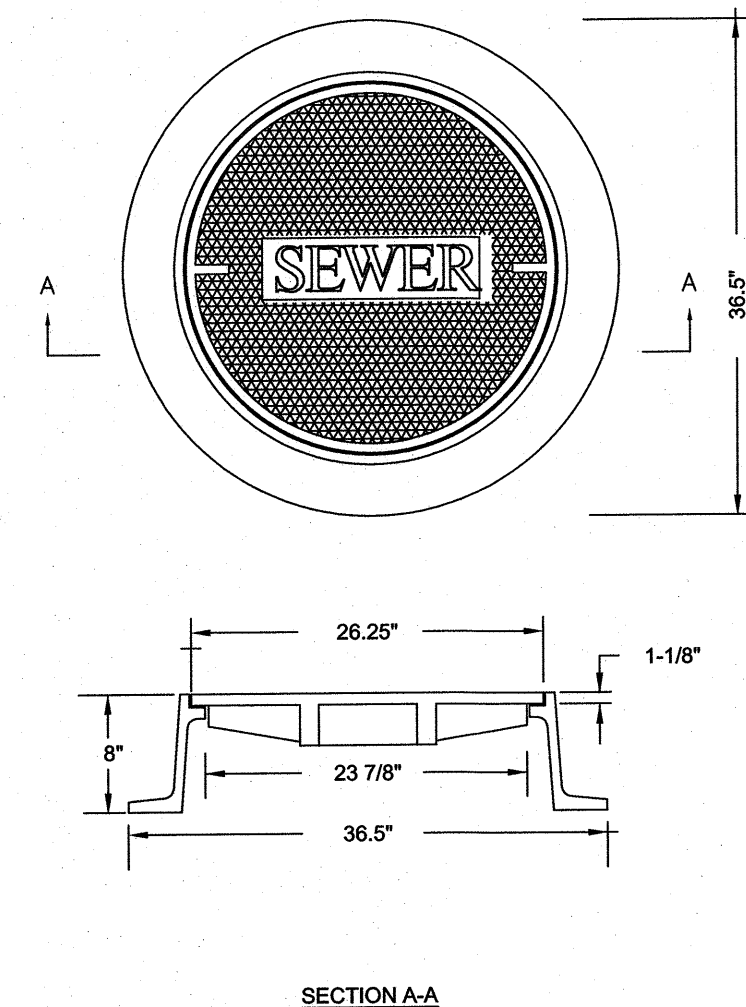
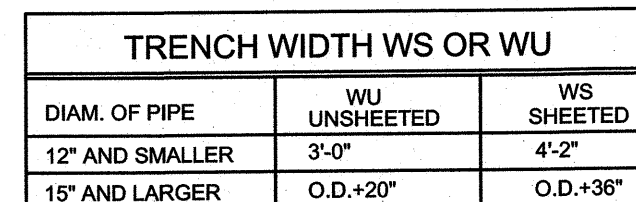








CONCRETE THRUST BLOCK  
NOT TO SCALE



MANHOLE FRAME AND COVER  
EIJW CATELOG NOS. 2110A & 2114Z MARKED "SEWER"

FINISHED GRADE  
SEE PLAN

MORTAR

2'-0"

8"

ECCENTRIC PRECAST REINFORCED CONCRETE CONE

4'-0"

1'-0"

MORTAR COLLAR

ADJUST TO GRADE WITH REINFORCED CONCRETE LEVELING RING, OR RED BRICK MASONRY. 2" MIN. TO 12" MAX.

STEEL REINFORCED COPOLYMER POLYPROPYLENE STEPS  
INSTALL PER MANUFACTURERS RECOMMENDATIONS

BUTYL RUBBER GASKET JOINTS

PRECAST REINFORCED CONCRETE RISERS AS REQUIRED

FACTORY WATERPROOF MANHOLE EXTERIOR PRIOR TO DELIVERY

PORTLAND CEMENT CONCRETE INFILL WITH RED SEWER GRIP PITCH TABLE

UNDISTURBED OR COMPACTED 8 IN. GRADE

SEWER MANHOLE TO REST ON BED OF CLEAN COMPACTED SURVEY GRAVEL

8" MIN

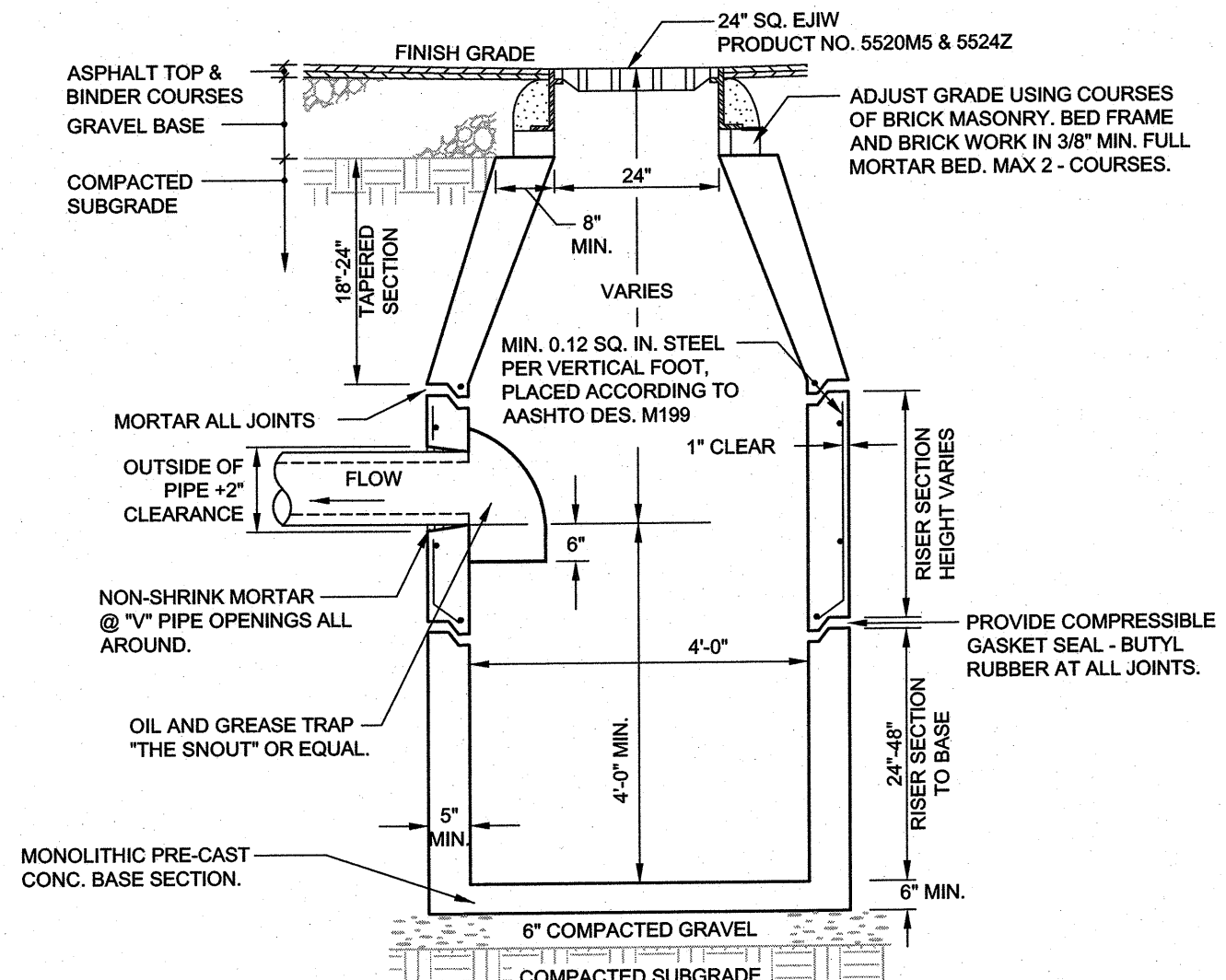
6"

3"

4'-0"

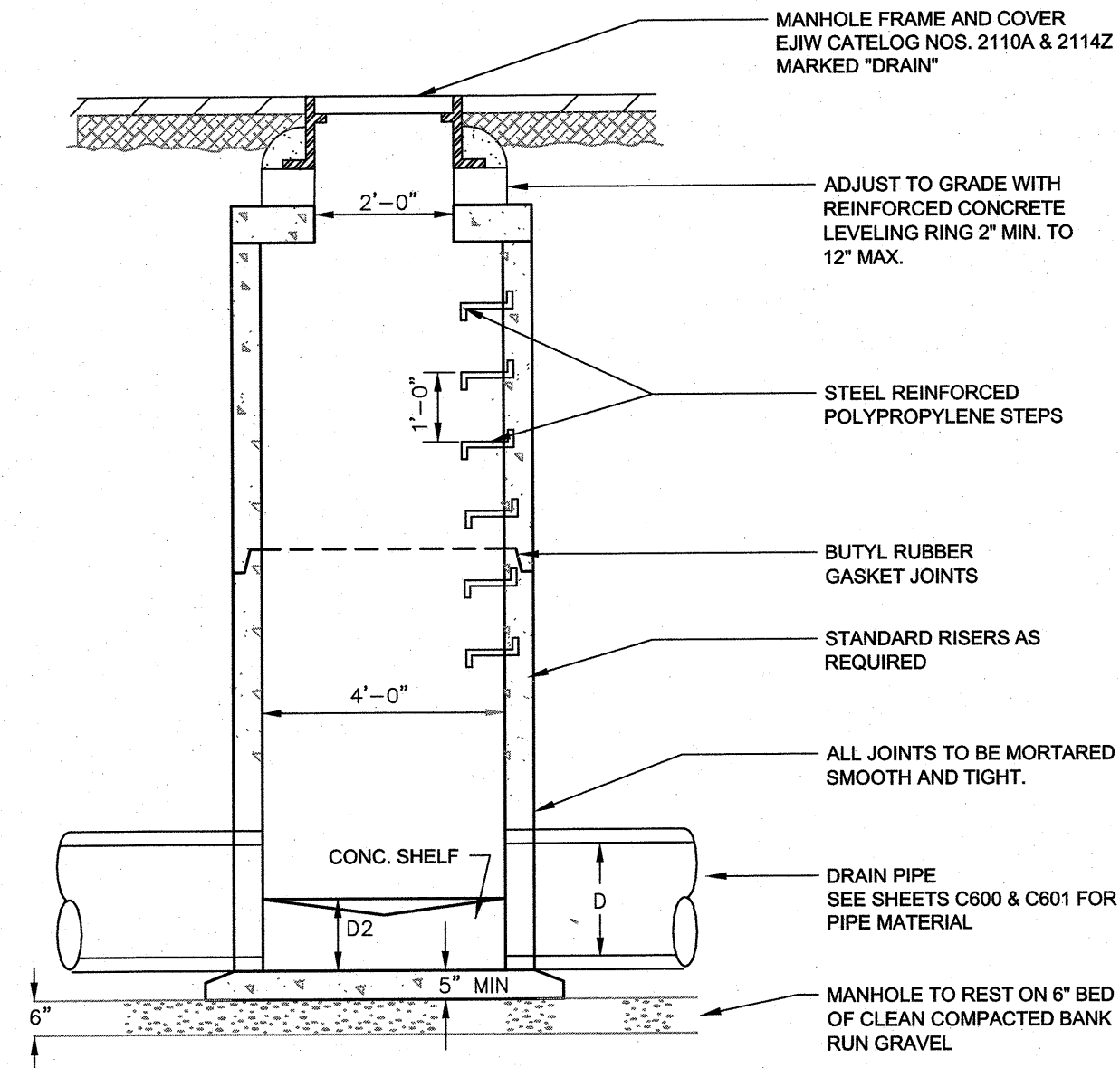
K JOINT SLEEVE (N-Seal CONNECTOR EQUAL)

SEWER MANHOLE  
NOT TO SCALE



NOTES:

1. ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF ASTM C478.
2. FACE OF PIPE FLUSH OR NOT TO PROJECT MORE THAN 4" FROM FACE OF WALL ALONG CENTERLINE OF PIPE.
3. PIPE OPENING COVERED WITH 23 GAUGE GALVANIZED WIRE MESH.
4. BACKFILL SHALL CONSIST OF CLEAN SLOE MATERIALS UNIFORMLY PLACED IN 6-INCH LAYERS AROUND THE EXTERIOR OF AND WORKING IN A COMPACTED WITH HAND TAMPERS OR MECHANICAL EQUIPMENT.



**PRECAST DRAIN MANHOLE**  
NOT TO SCALE **A1**

29 WALL STREET  
FOXBOROUGH, MA 02035

**OWNER/APPLICANT: CHARLES RIVER EQUITY PARTNERS, LLC**

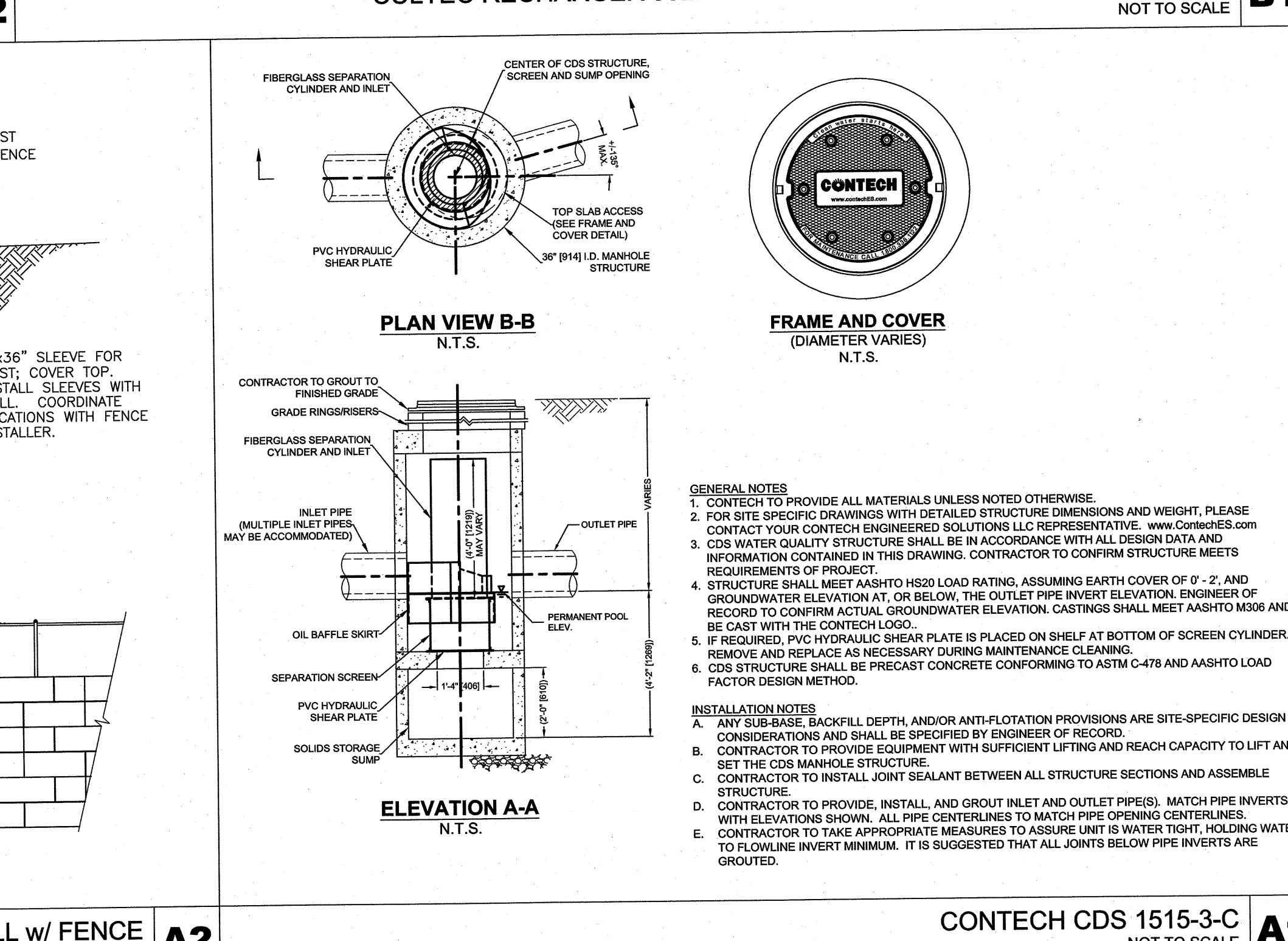
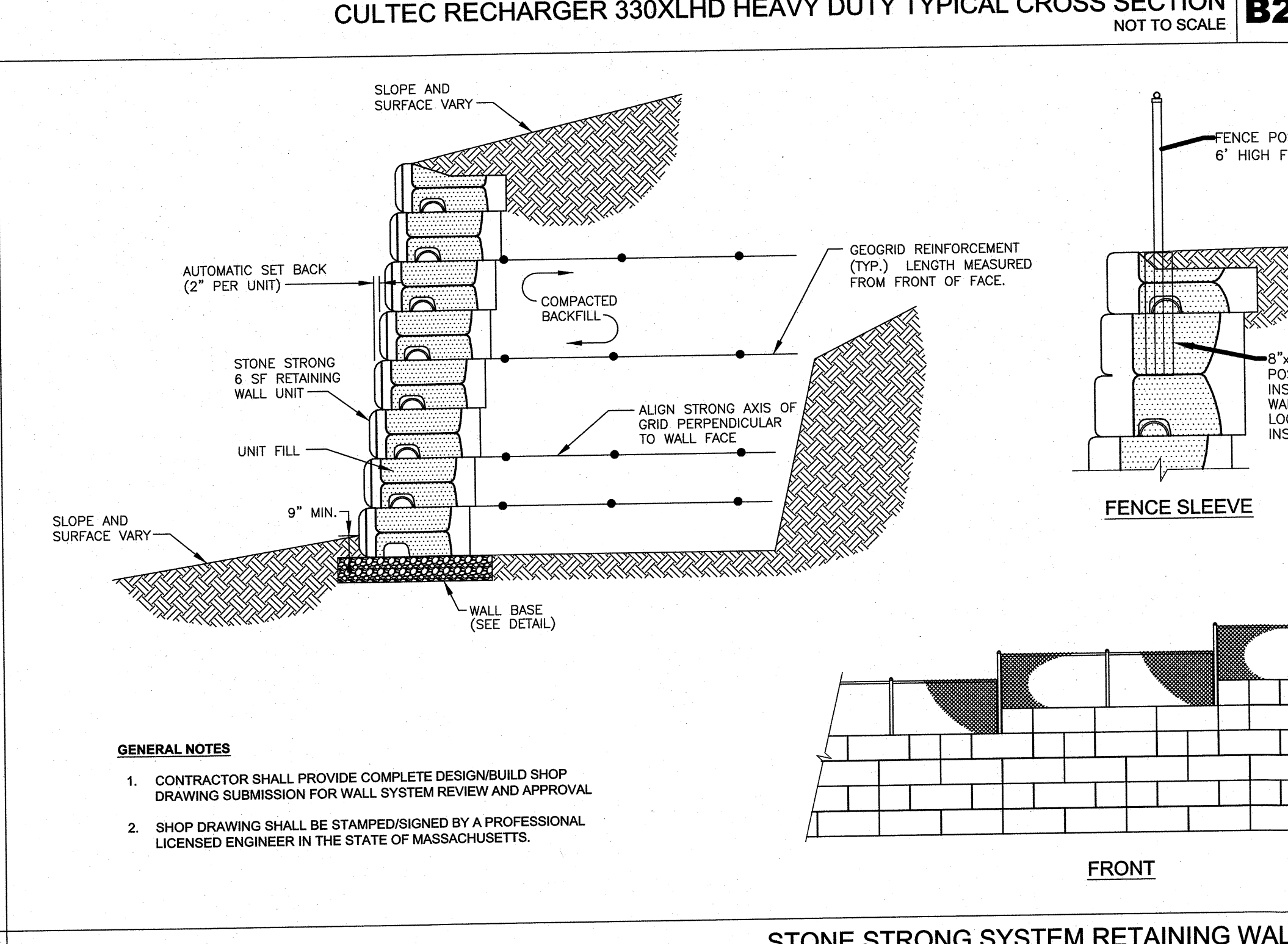
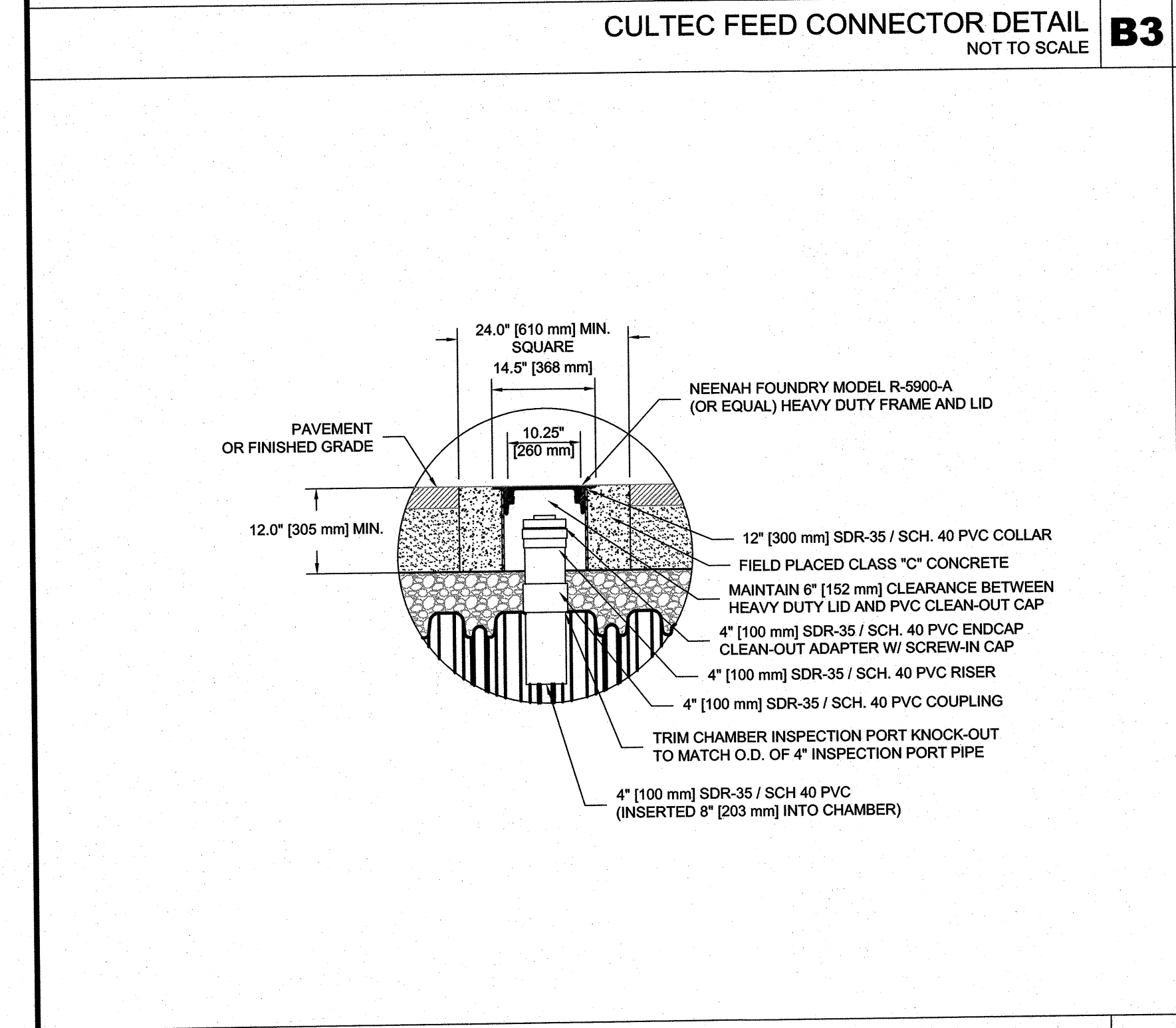
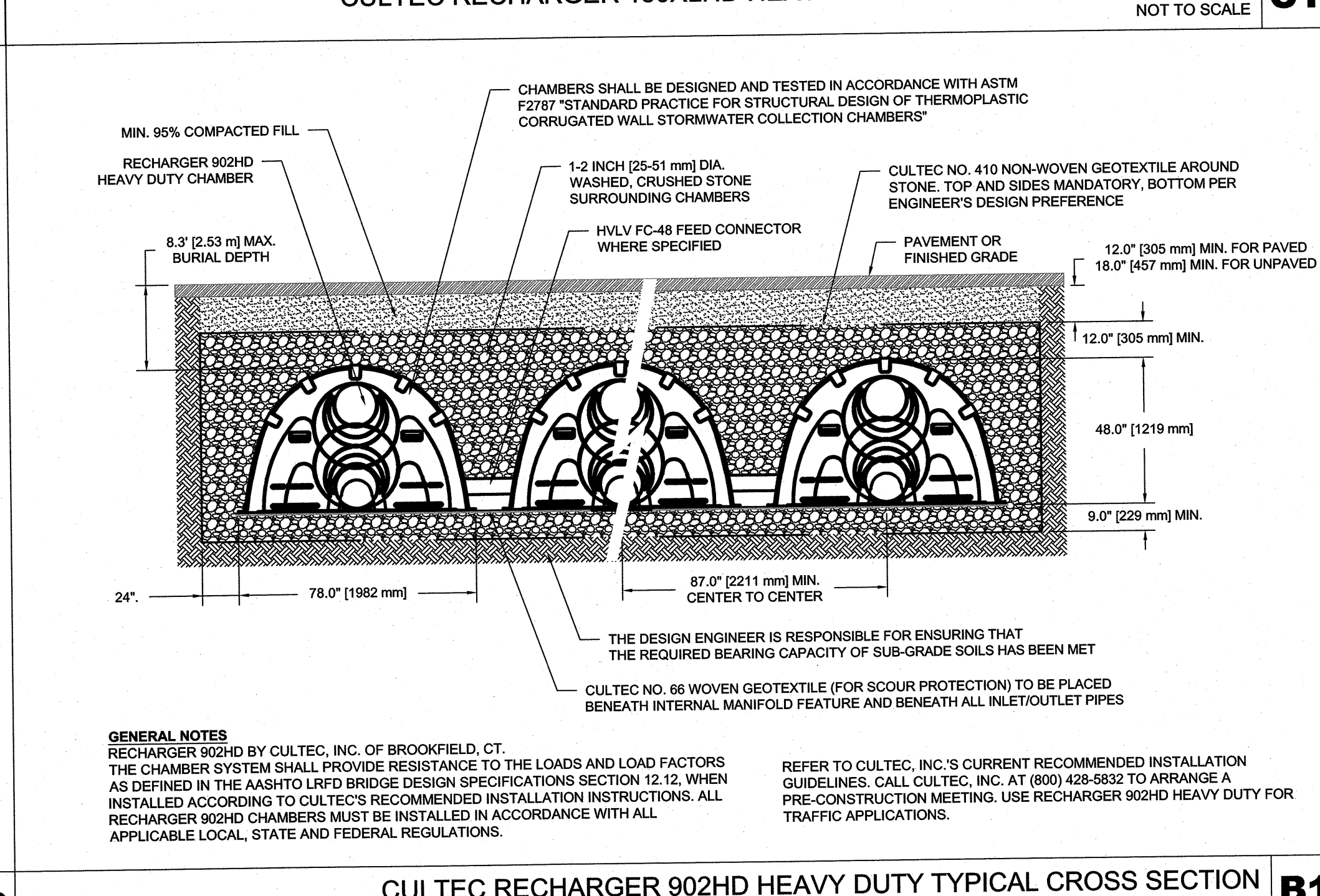
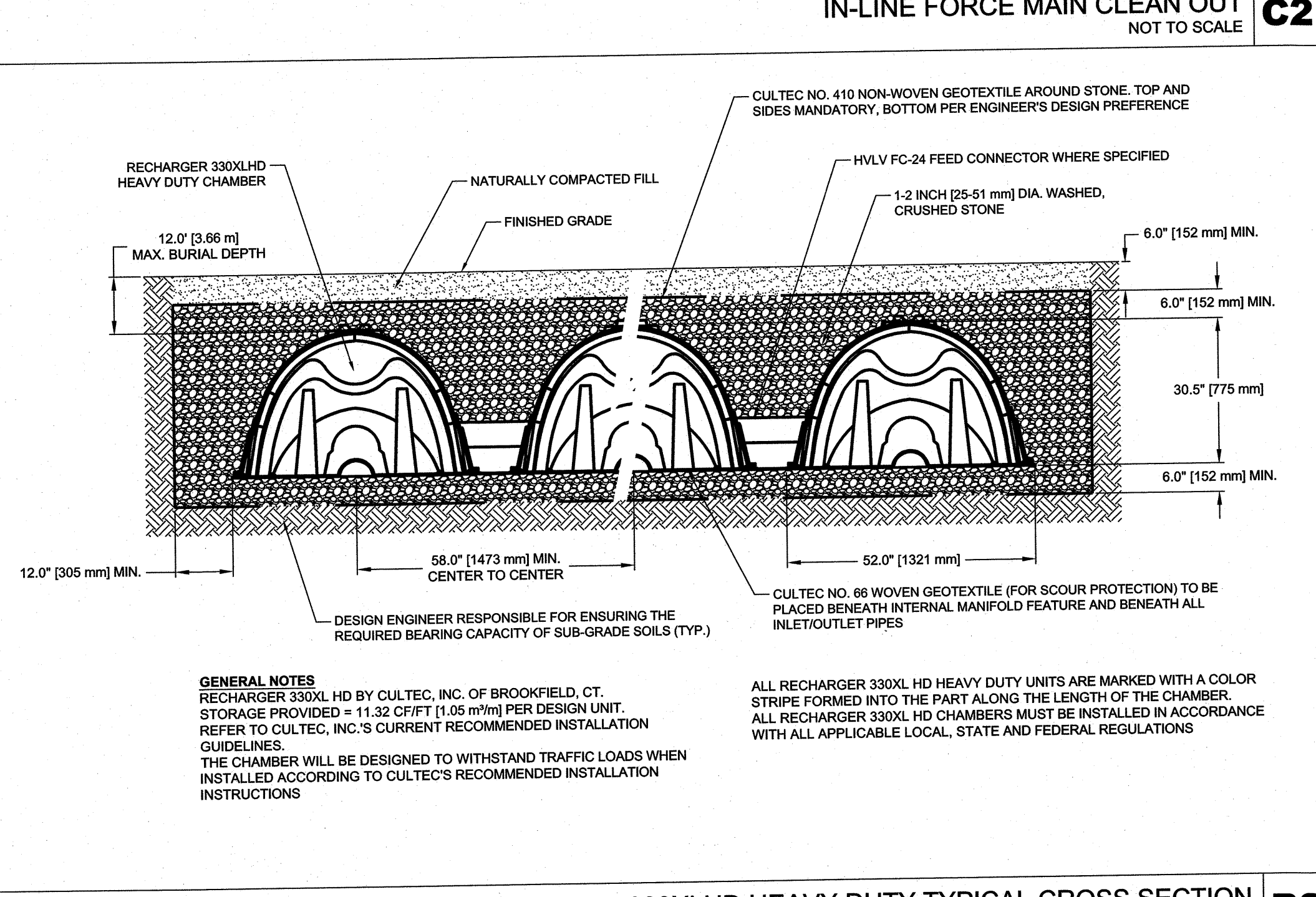
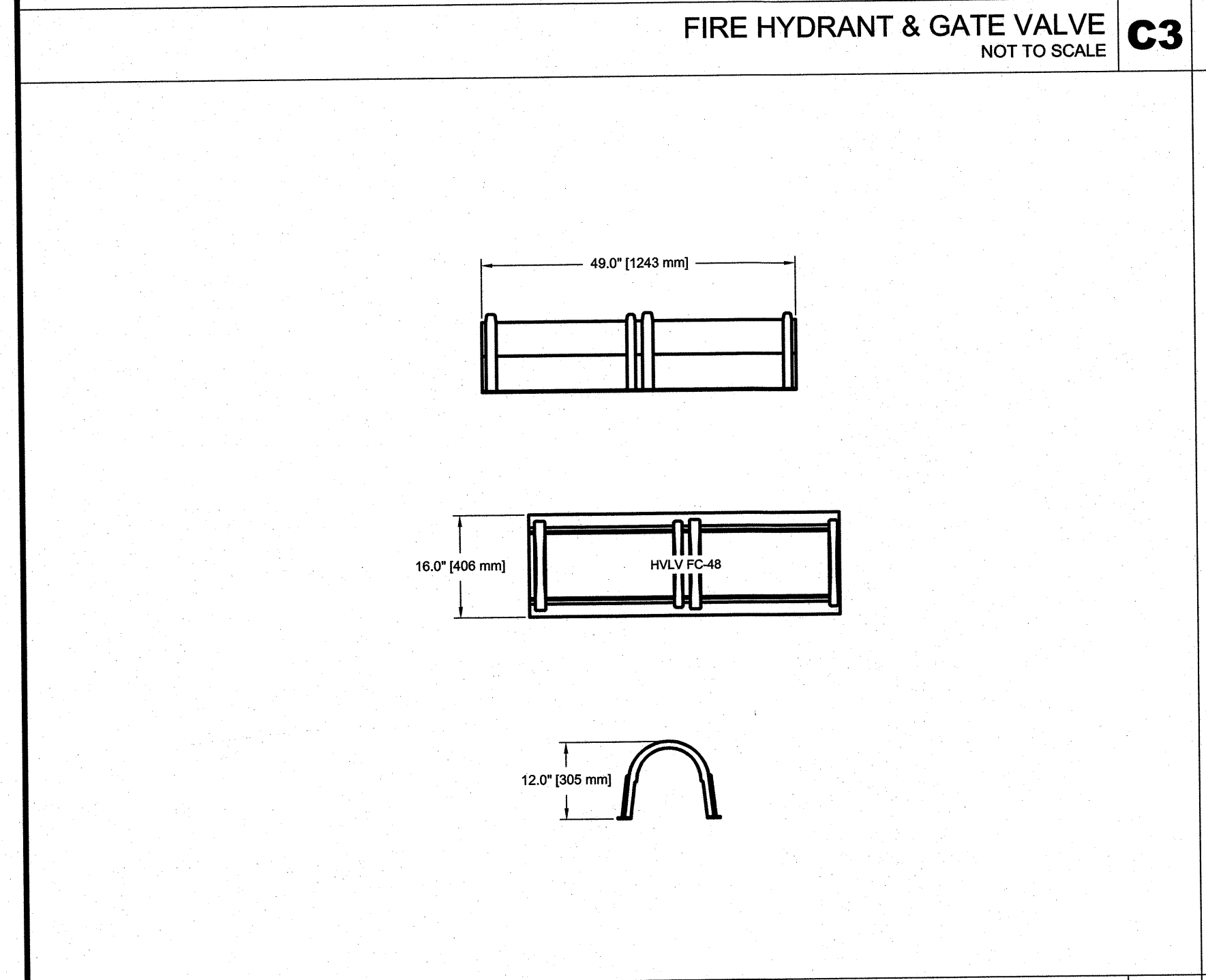
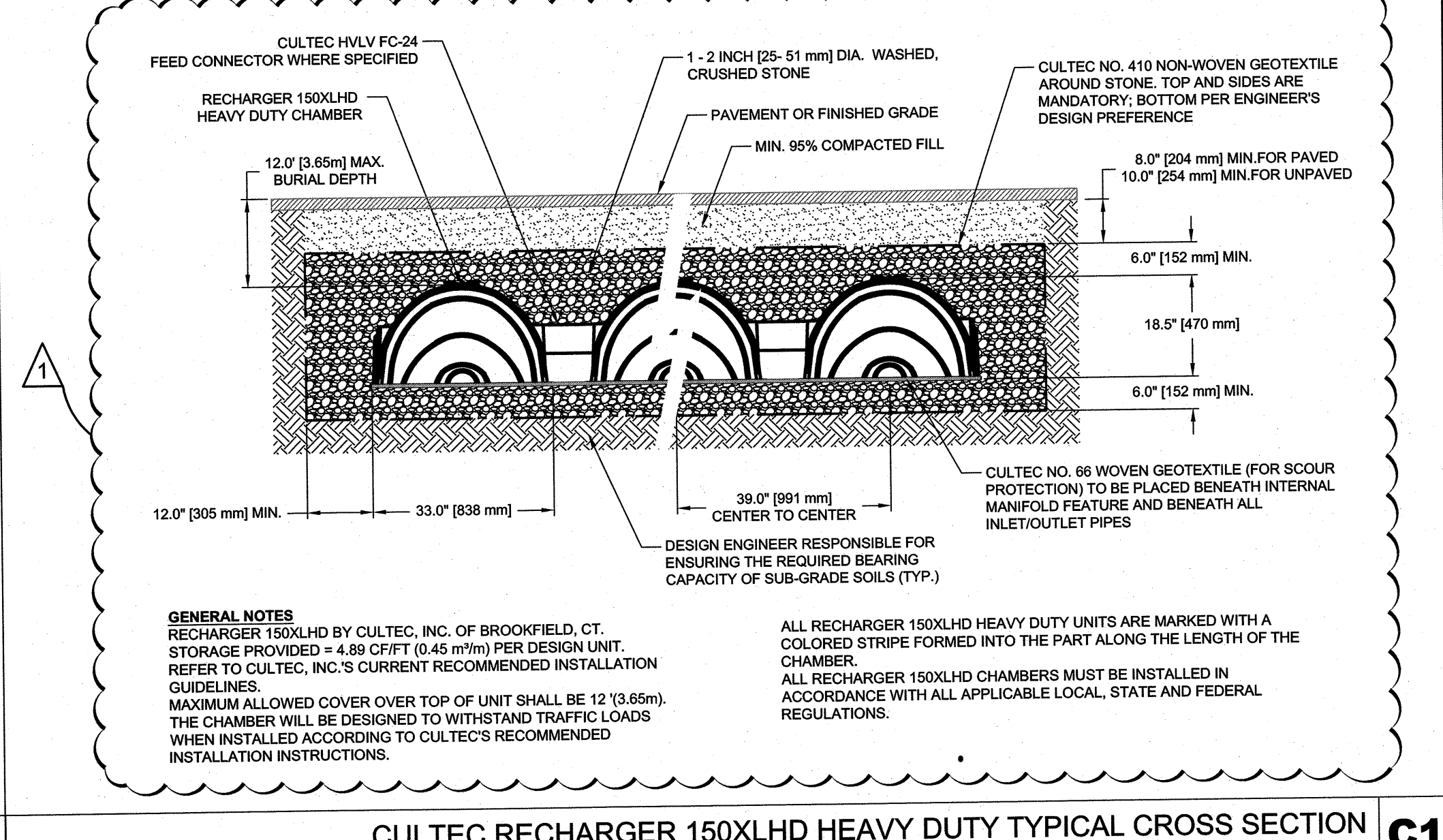
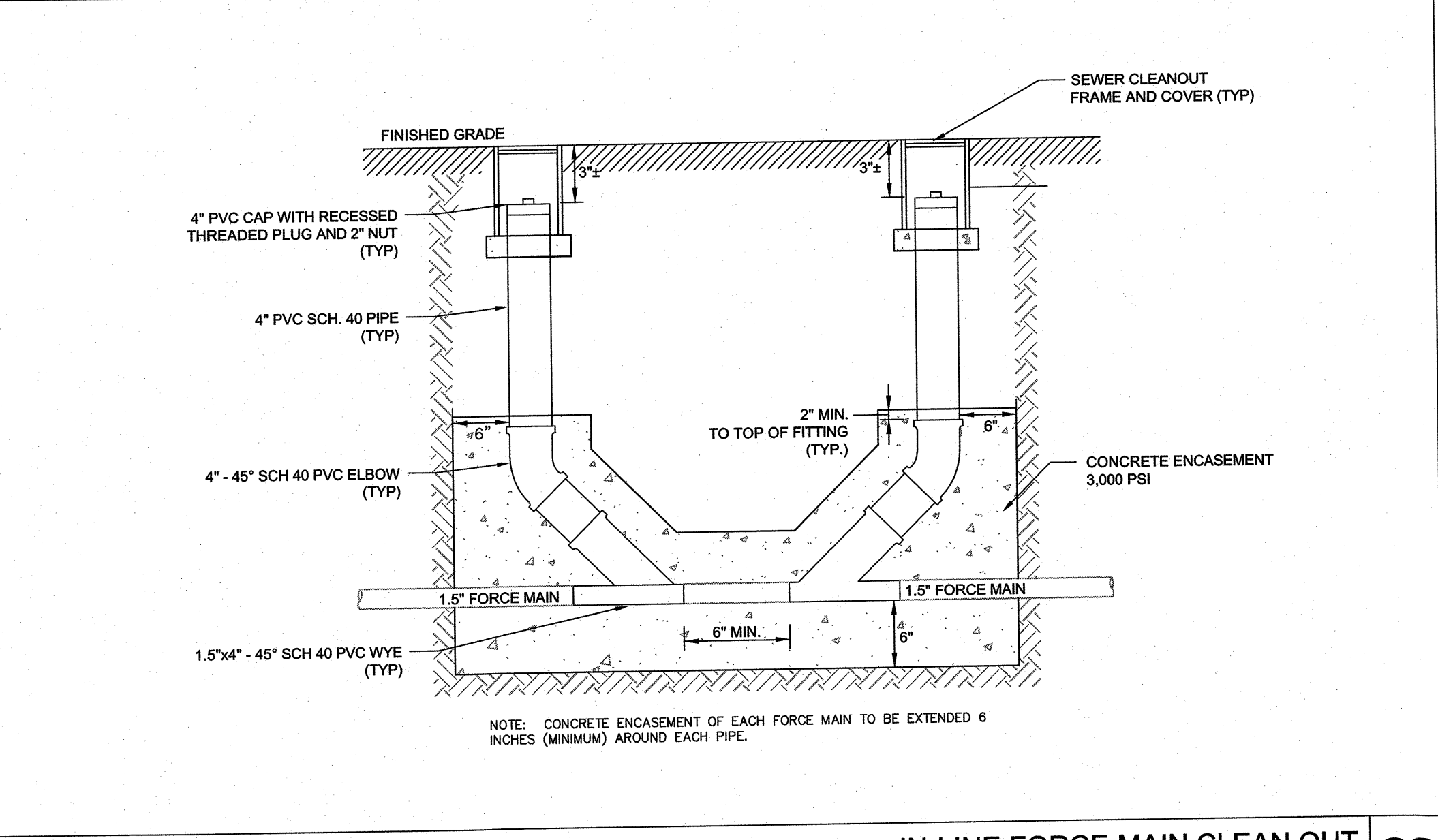
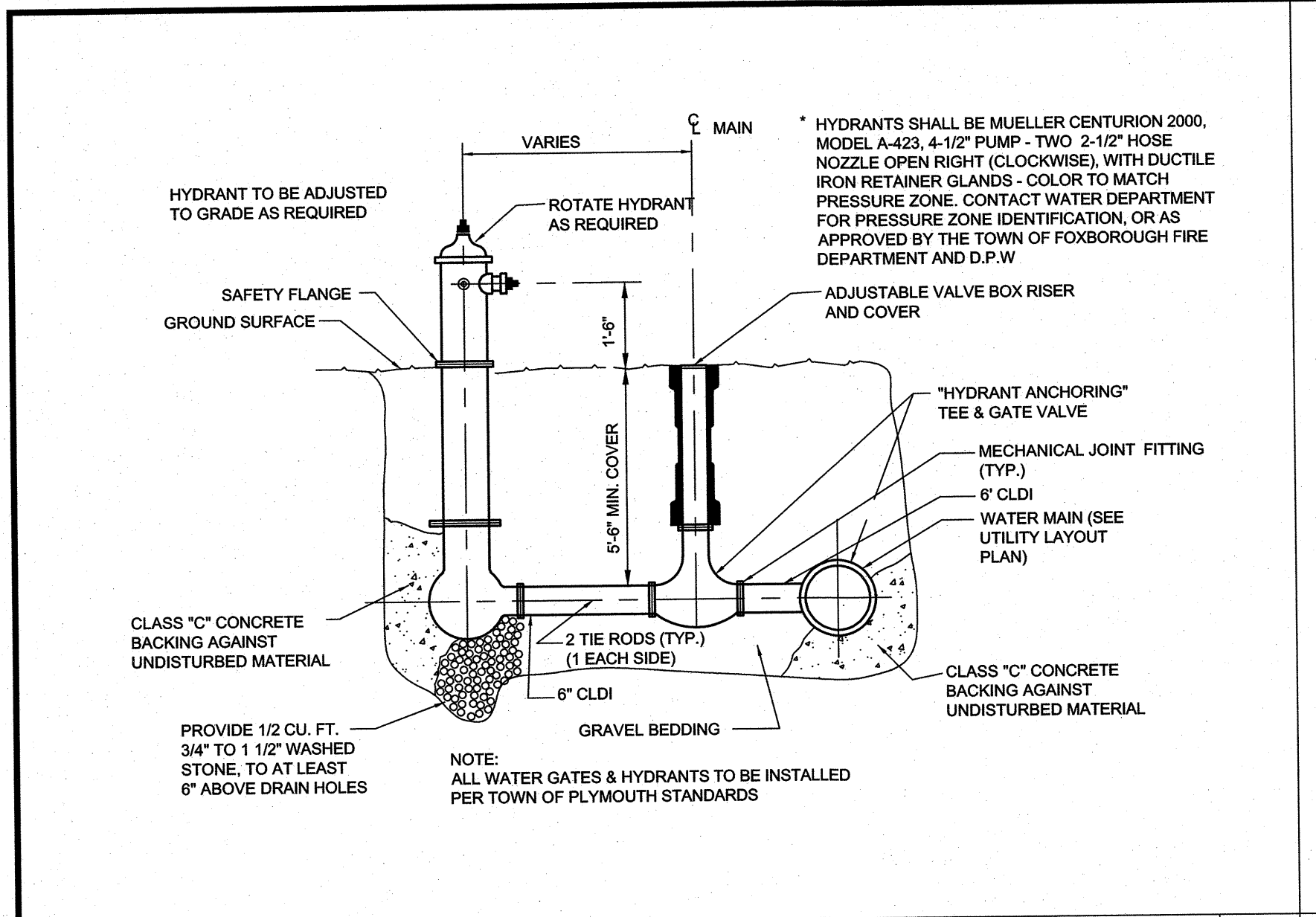
1	2/21/2018	TOWN & PEER REVIEW COMMENTS
REV	DATE	DESCRIPTION

SHEET TITLE:

SHEET NUMBER:

# C600





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1.781.770.0970 | www.highpointeng.com

CLIENT: **CHARLES RIVER EQUITY PARTNERS, LLC**  
21 MILLER STREET, WEDFIELD MA 02052

CONSULTANT:

SEAL

**PROPOSED MIXED - USE DEVELOPMENT**

29 WALL STREET  
FOXBOROUGH, MA 02035

OWNER/APPLICANT: **CHARLES RIVER EQUITY PARTNERS, LLC**

REV	DATE	DESCRIPTION
1	2/21/2018	TOWN & PEER REVIEW COMMENTS

ISSUE TYPE: **PERMIT**

ISSUE DATE: **11.14.2017**

PROJECT NUMBER: **17006**

DRAWN BY: **AK**

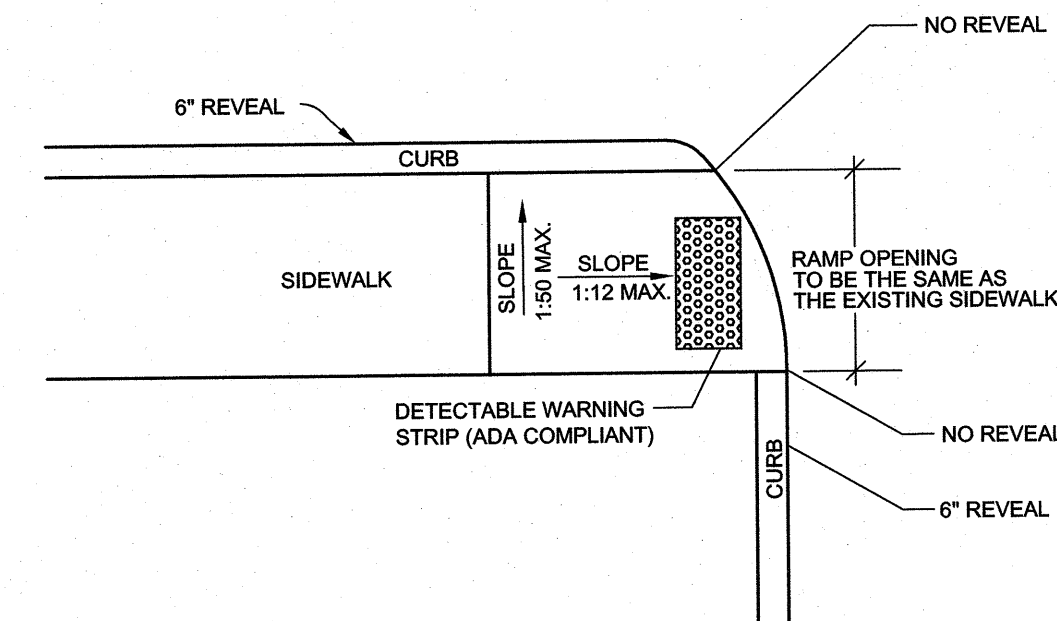
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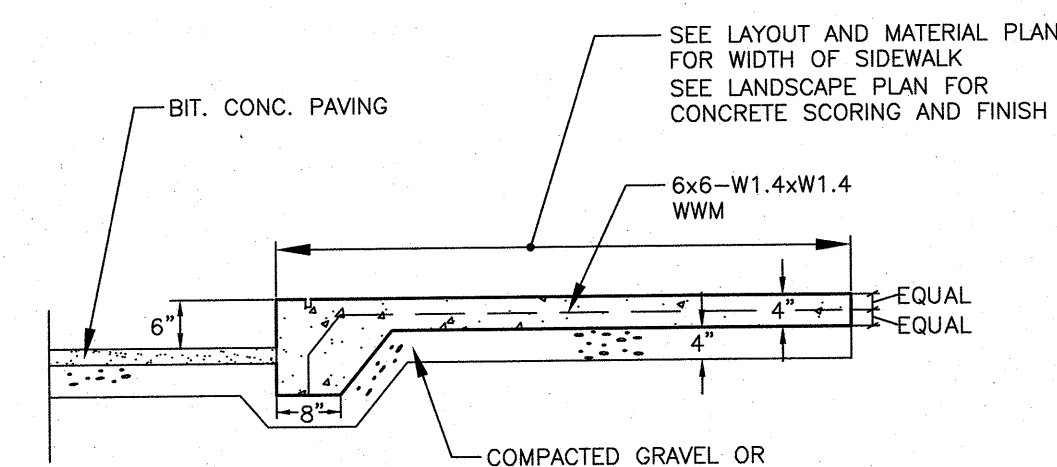
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SHEET NUMBER: **C601**



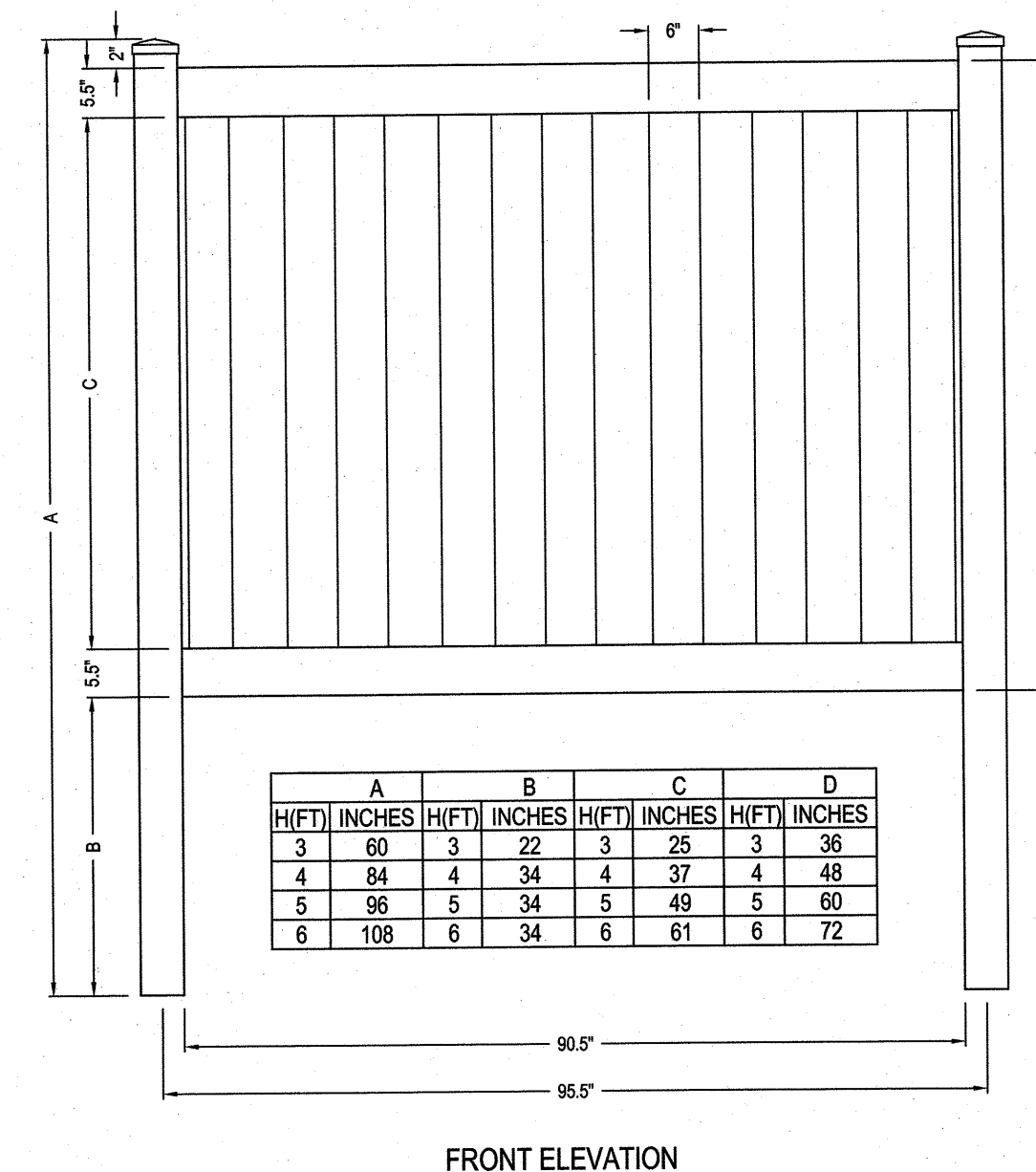


**HANDICAP RAMP (OFF-SITE)**  
NOT TO SCALE



NOTE: PROVIDE EXPANSION JOINTS AT 25' O.C.  
(MAX.)  
AND CONTROL JOINTS AT 5' O.C. (MAX.)

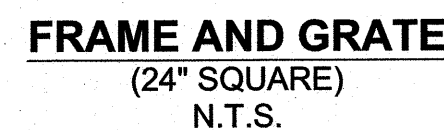
MONOLITHIC CONCRETE SIDEWALK  
NOT TO SCALE



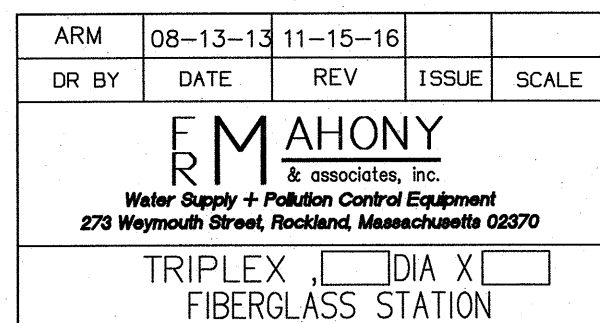
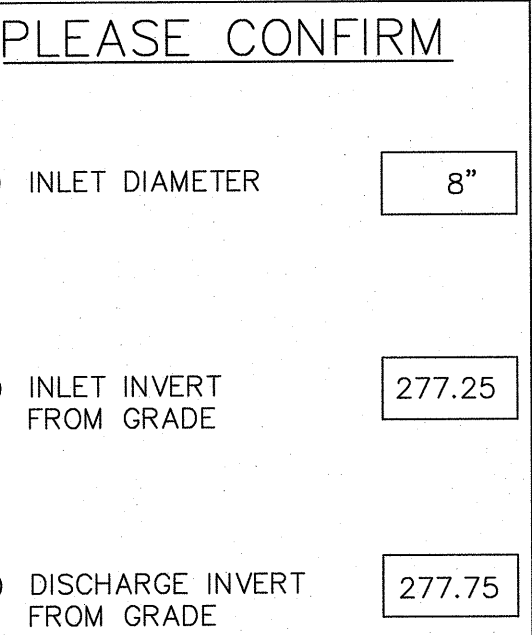
**NOTE:**  
ON THE LAST FOUR POSTS  
CABLE IS TO BE RUN THROUGH  
HOLES DRILLED IN THE CENTER  
OF THE POSTS.

**TYPICAL PRIVACY FENCE**  
NOT TO SCALE **A1**





- GENERAL NOTES**
1. CONTACT TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS SHALL BE DETERMINED FROM FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT. PLEASE ADVISE OUR CONSULTING ENGINEER, JACOBIUS LLC REPRESENTATIVE, When.Contact@us.com
3. VORSTENTNUT HS WATER QUALITY STRUCTURE SHALL BE CONSTRUCTED WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
4. STRUCTURE SHALL BE MEET OR EXCEED M506 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE STRUCTURE ELEVATION. PROVIDE RECORD OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- INSTALLATION NOTES**
1. ANY SURFACE, BACKFILL, DEPTH AND/OR ANTI-DRAWN PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY THE RECORD DRAWINGS.
2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND POSITION ALL STRUCTURE COMPONENTS (LIFTING CLUTCHES PROVIDED).
3. CONTRACTOR TO INSTALL TIGHT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT WATER TIGHT. HOLDING WATER TO FILLING INVERT WITHIN 12 MONTHS. STRUCTURE SHALL BE INVERTS WITH LOW PIPE INVERTS ARE GROUTED.



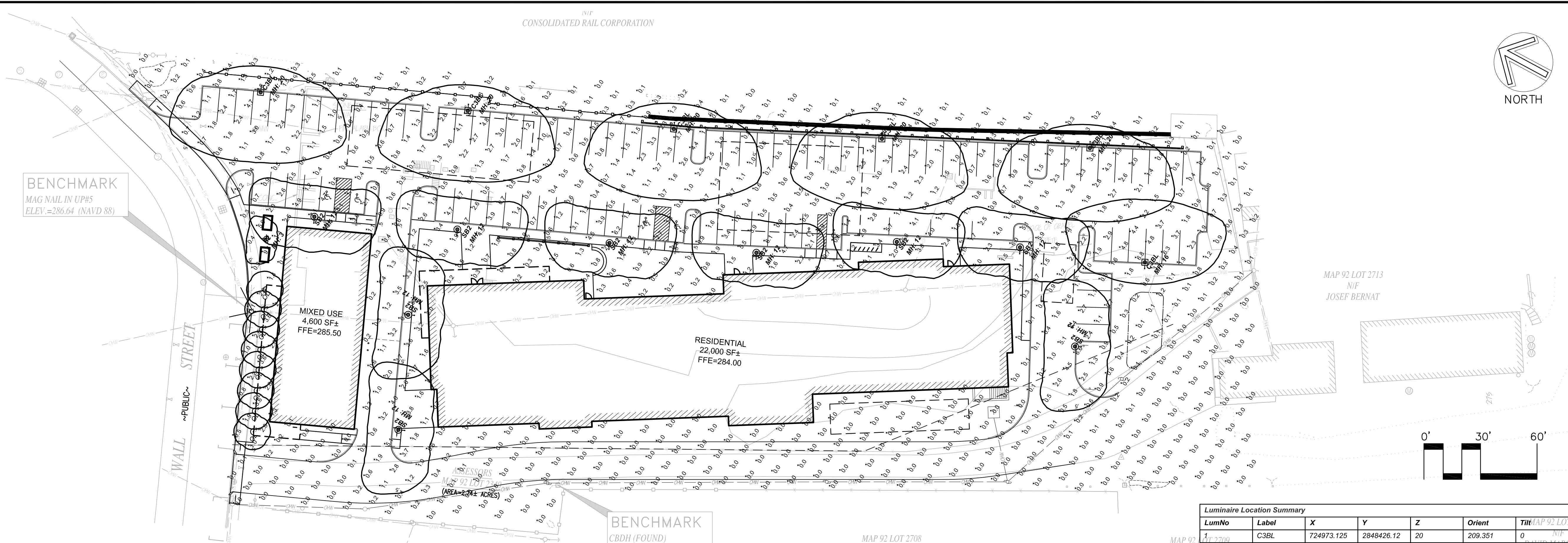
**E-ONE PUMP STATION**  
NOT TO SCALE **A1**

# PROPOSED MIXED - USE DEVELOPMENT

27 WALL STREET  
FOXBOROUGH, MA 02035

**OWNER/APPLICANT:** CHARLES RIVER EQUITY PARTNERS, LLC





Outdoor Luminaire Schedule

Symbol	Qty	Label	Description	Arrangement	Arm	Lum. Lumens	LLF	Filename
	6	C3BL	OSQ-A-xx-3ME-B-30K-ULxxxxx w_ OSQ-BLSMF CON	SINGLE	1.5	8477	0.900	OSQ-A-XX-3ME-B-30K-ULXXXXX W_OSQ-BLSMF_CONFIGURE
	1	S2	SL360-FG-26L45T2-F-MDL05	SINGLE	0	2911	0.900	SL360-FG-26L45T2-F-MDL05.ies
	9	SB2	1521LED-4ARC45T2-MDL03-FG	SINGLE	0	5994	0.900	1521LED-4ARC45T2-MDL03-FG.IES
	8	OL	OL2200BB	SINGLE	0	757	0.900	VBGL1.ies

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	1.04	9.4	0.0	N.A.	N.A.

Luminaire Location Summary

LumNo	Label	X	Y	Z	Orient	Tilt
1	C3BL	724973.125	2849426.12	20	209.351	0
2	S2	724905.125	2848381.25	3	116.565	0
3	SB2	724928	2848363.75	12	26.106	0
4	OL	724884.375	2848365.62	7	0	0
5	OL	724875.125	2848360.75	7	0	0
6	OL	724865.625	2848355.75	7	0	0
7	OL	724856.125	2848350.62	7	0	0
8	OL	724846.625	2848345.62	7	0	0
9	OL	724836.875	2848340.5	7	0	0
10	OL	724827.25	2848335.37	7	0	0
11	OL	724817.625	2848330.25	7	0	0
12	C3BL	725025.25	2848328.12	20	209.351	0
13	SB2	724965.125	2848294.75	12	26.106	0
14	SB2	724916.375	2848291.5	12	118.488	0
15	C3BL	725076.75	2848230.75	20	209.351	0
16	SB2	725002.5	2848225.12	12	26.106	0
17	SB2	725040.875	2848157	12	26.106	0
18	C3BL	725132.25	2848136.12	20	209.351	0
19	SB2	725086	2848097.25	12	26.106	0
20	SB2	725120	2848040.62	12	26.106	0
21	C3BL	725187.125	2848040.62	20	209.351	0
22	SB2	725095.75	2847986.62	12	121.538	0
23	C3BL	725149.125	2847981.37	16	30.513	0
24	SB2	724862.125	2848262.75	12	118.488	0

**Cree® OSO Series**  
LED High Output Area/Flood Luminaire

**READY TO TURN YOUR LIGHTING POLES INTO MONEY TREES? WE ARE.**

**Less Is More**  
The OSO® High Output/HD LED Area/Flood luminaire's safety improves area and flood lighting experiences while helping customers significantly reduce energy usage... up to 80 percent... which replaces outdated HID fixtures. Furthermore, a single luminaire is capable of replacing multiple HID fixtures dramatically aiding to the overall savings.

**Not High Maintenance**  
Higher mounting heights typical of high output products mean higher maintenance costs. This can lead to delayed maintenance that can compromise the safety of a site. The OSO Series HD, based on Cree's industry leading 10 year warranty, provides reliable, long lasting light that eliminates routine re-lamping required for outdated systems and keeps more money in your pocket.

**Better Light Design**  
Proper outdoor lighting can turn ordinary parking lots into alluring outdoor sanctuaries that enhance the sense of safety for visitors and create a positive impression of the site. With Cree TrueVision™ Technology available with 5000K, the OSO Series HD blends higher color quality and extensive optical control for involving uniformity. The slim, low profile design blends seamlessly into the site and can be combined with other OSO luminaires for a cohesive look.

**CREE**

**Gallery®**

Gallery® offers a beautiful and simple shape, that suggests efficiency and purpose. Using colored acrylic rings and shade options, this engaging luminaire delivers tremendous aesthetic value. The scale of the Gallery® is suitable for pedestrian applications as well as park and roadway projects. Highly optioned, the Gallery® family offers the designer many opportunities to personalize any project.

**1970 LED Glow Rings**

**Horizontal Window** **Glow Window** **Glow Window Solid Rings**

**Custom Window Designs** **Solid Top Solid Rings** **Solid Top**

**Building Mounted Sconce Light**

**SL360 Bollard**

- Glare reducing Soft View™ lens system
- DLC Listed
- Cast aluminum body
- Dimmable
- Title 24 compliant
- Powder coat finish in 6 standard colors
- Variable height options

**LEGEND**

- PARKING LOT LIGHT POLE 20' HEIGHT
- PEDESTRIAN LIGHT POLE 12' HEIGHT
- ⊕ BOLLARD LIGHT 36" HEIGHT
- ⌒ BUILDING MOUNTED SCONCE LIGHT 7' MOUNTING HEIGHT

**PARKING LOT LIGHT**  
Cree ARE Edge

**PEDESTRIAN LIGHT**  
Sterberg Gallery 1970LED

**BOLLARD LIGHT**  
Solana

**HIGHPOINT**

**HIGHPOINT ENGINEERING, INC.**  
CANTON CORPORATE PLACE  
45 DAN ROAD, SUITE 140 | CANTON, MA 02021  
t 781-770-0970 | www.highpointeng.com

CLIENT:

**CHARLES RIVER EQUITY PARTNERS, LLC**  
21 MILLER STREET, MEDFORD MA 02052

CONSULTANT:

**Radner Design Associates, Inc.**  
145 Concord Street, Suite 100  
Framingham, MA 01701  
508-756-6144  
www.RadnerDesign.com

SEAL

**PROPOSED MIXED - USE DEVELOPMENT**

29 WALL STREET  
FOXBOROUGH, MA 02035

OWNER/APPLICANT: CHARLES RIVER EQUITY PARTNERS, LLC

1	2/21/2018	TOWN & PEER REVIEW COMMENTS
REV	DATE	DESCRIPTION

ISSUE TYPE:  
Permit

ISSUE DATE:  
11/14/2017

PROJECT NUMBER:  
17-22

DRAWN BY: MPR

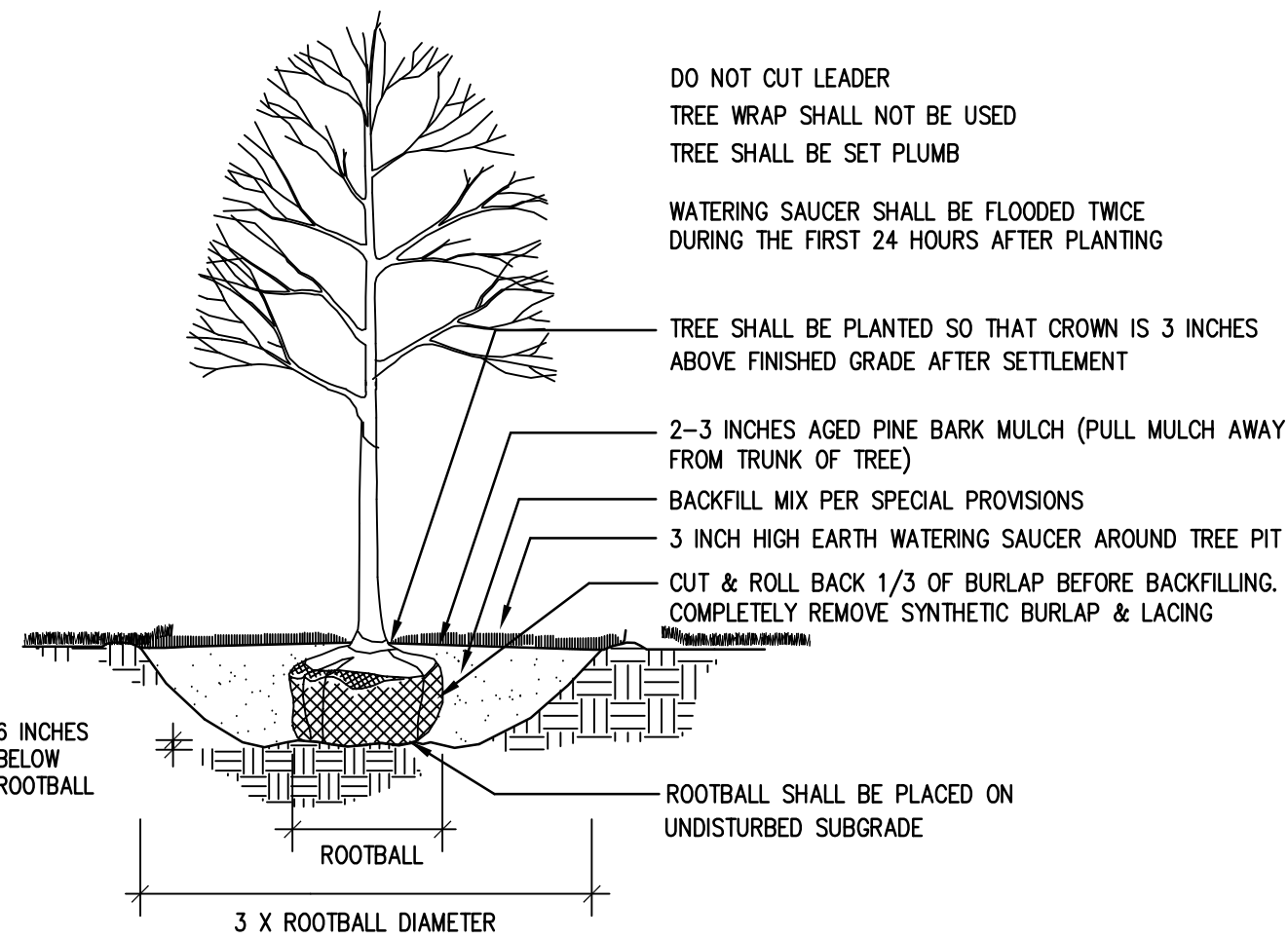
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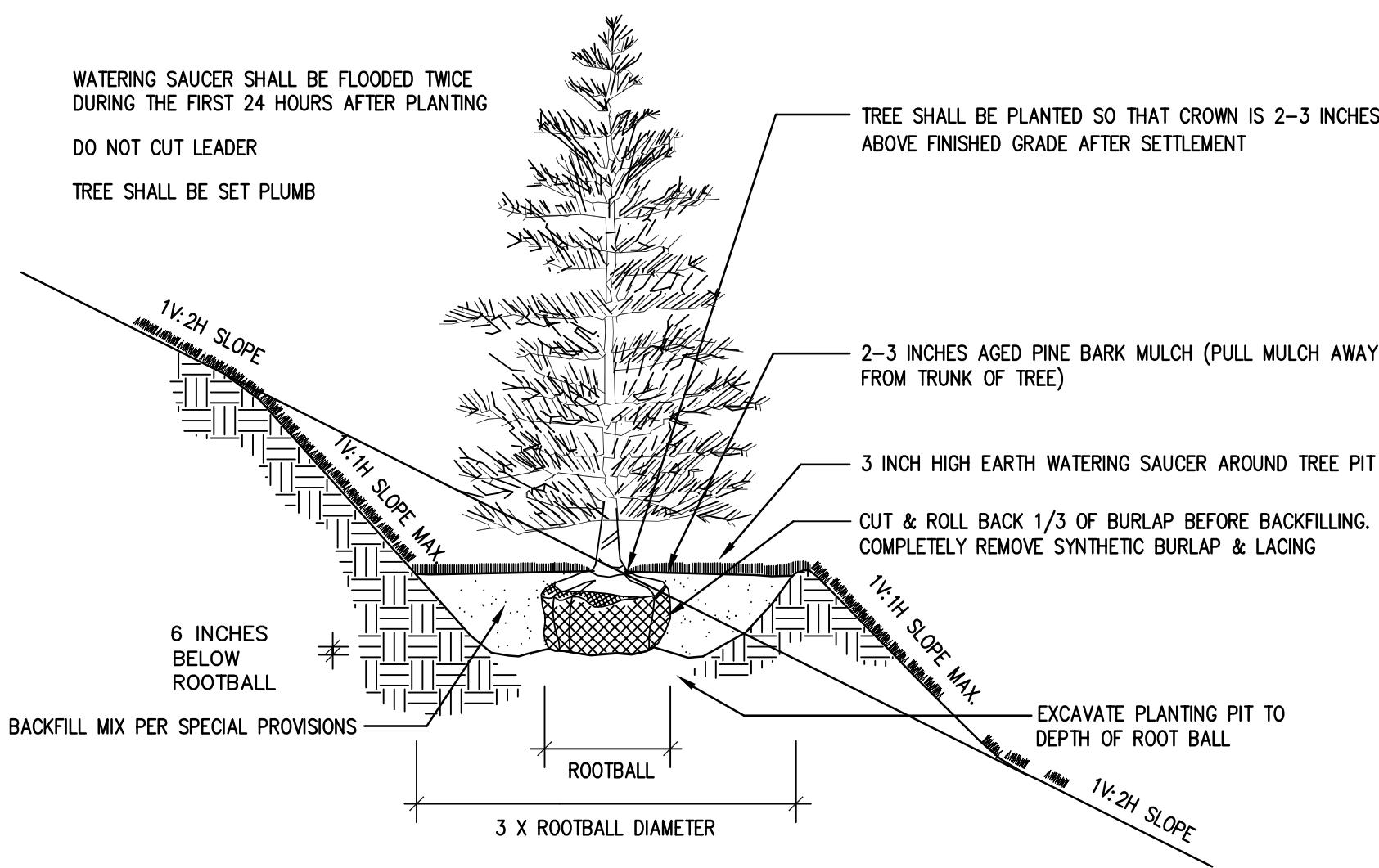
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SHEET NUMBER:  
**L101**

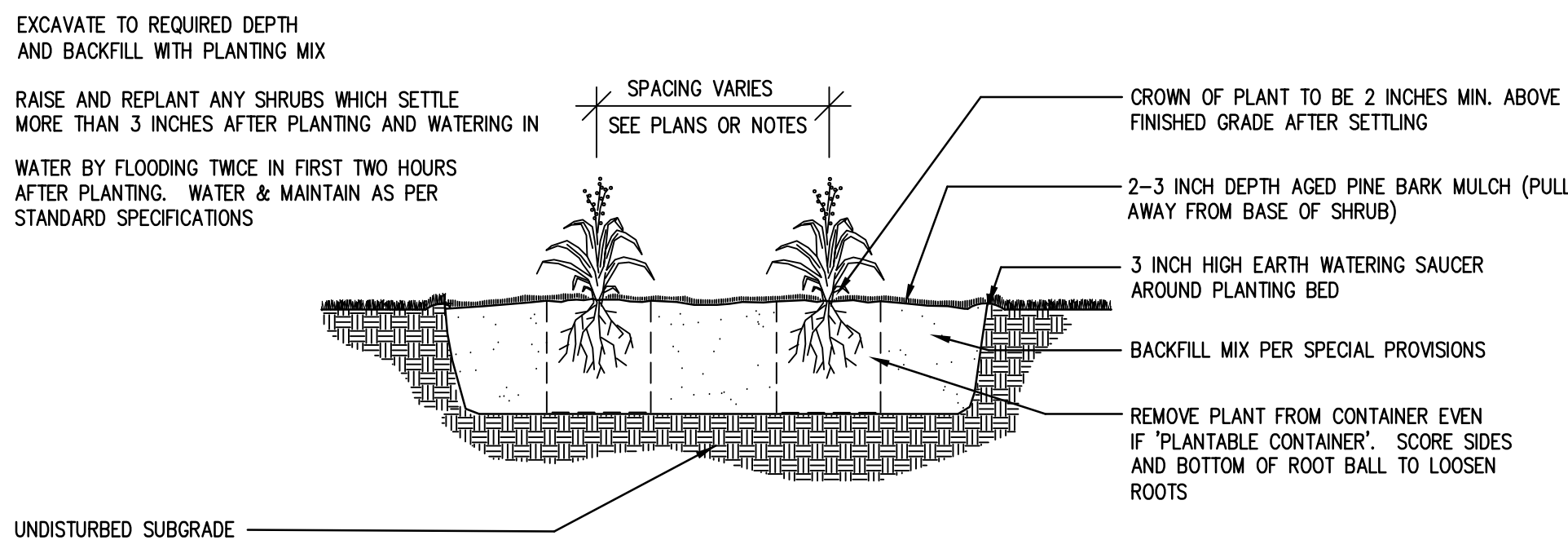




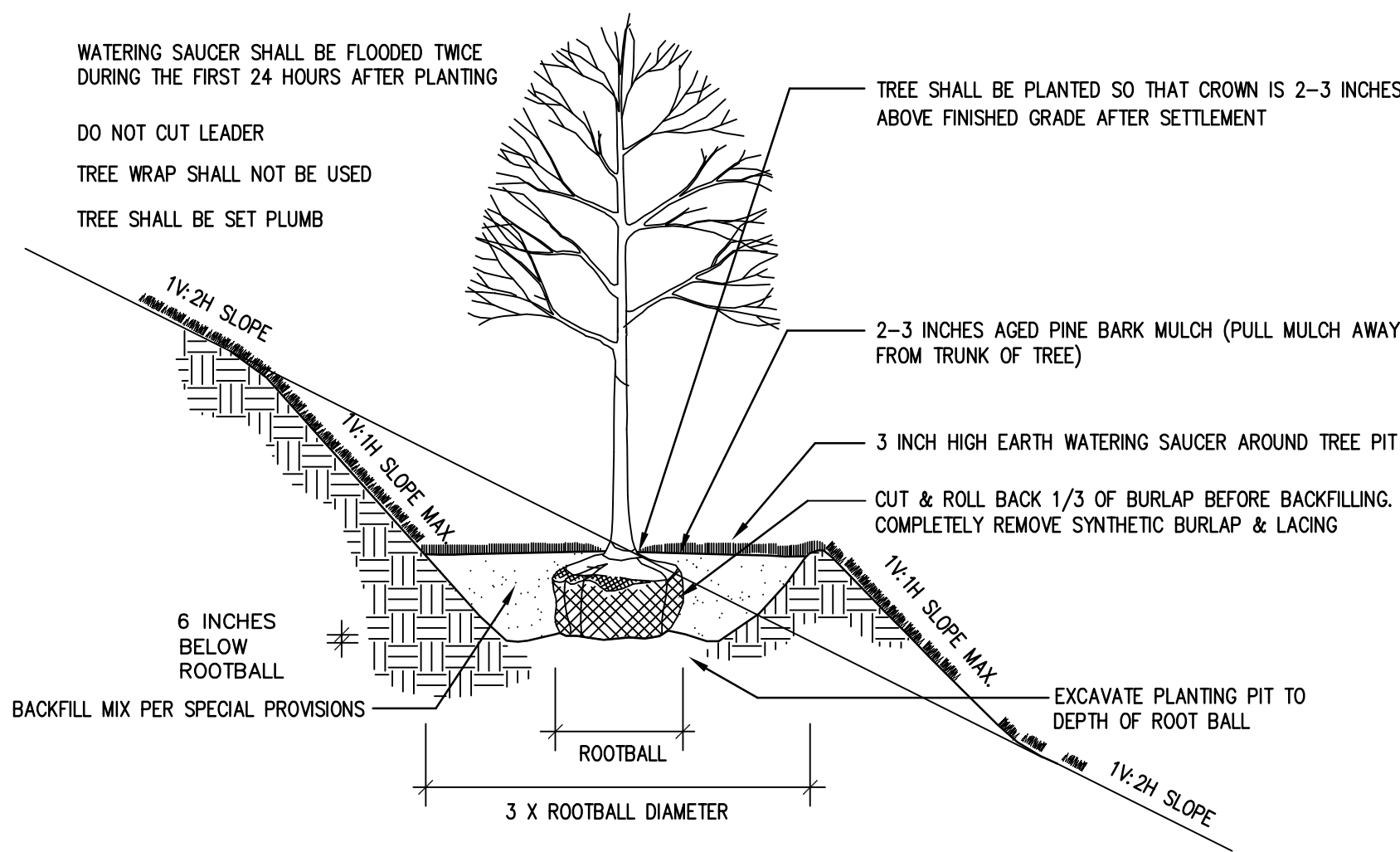
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NOT TO SCALE



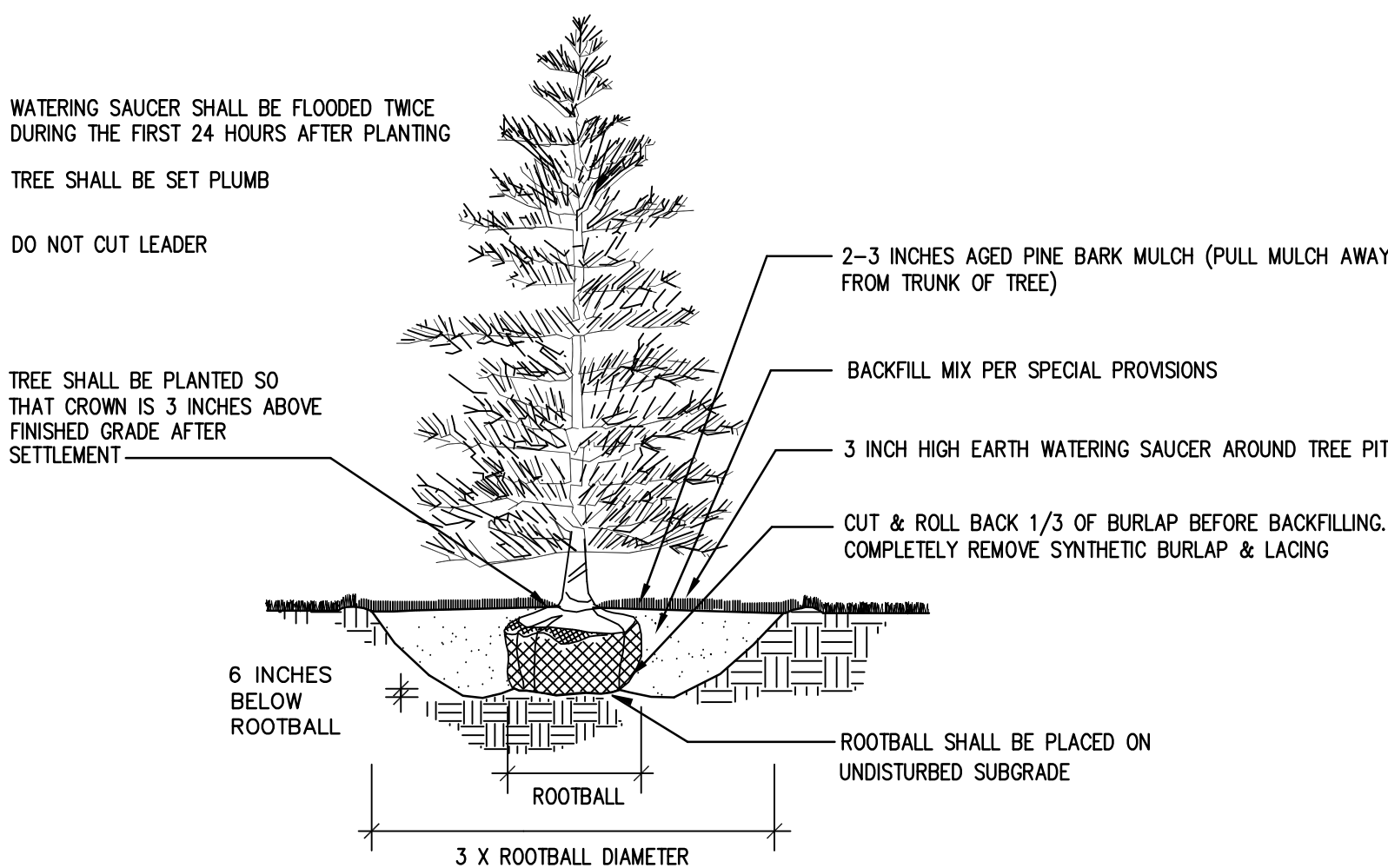
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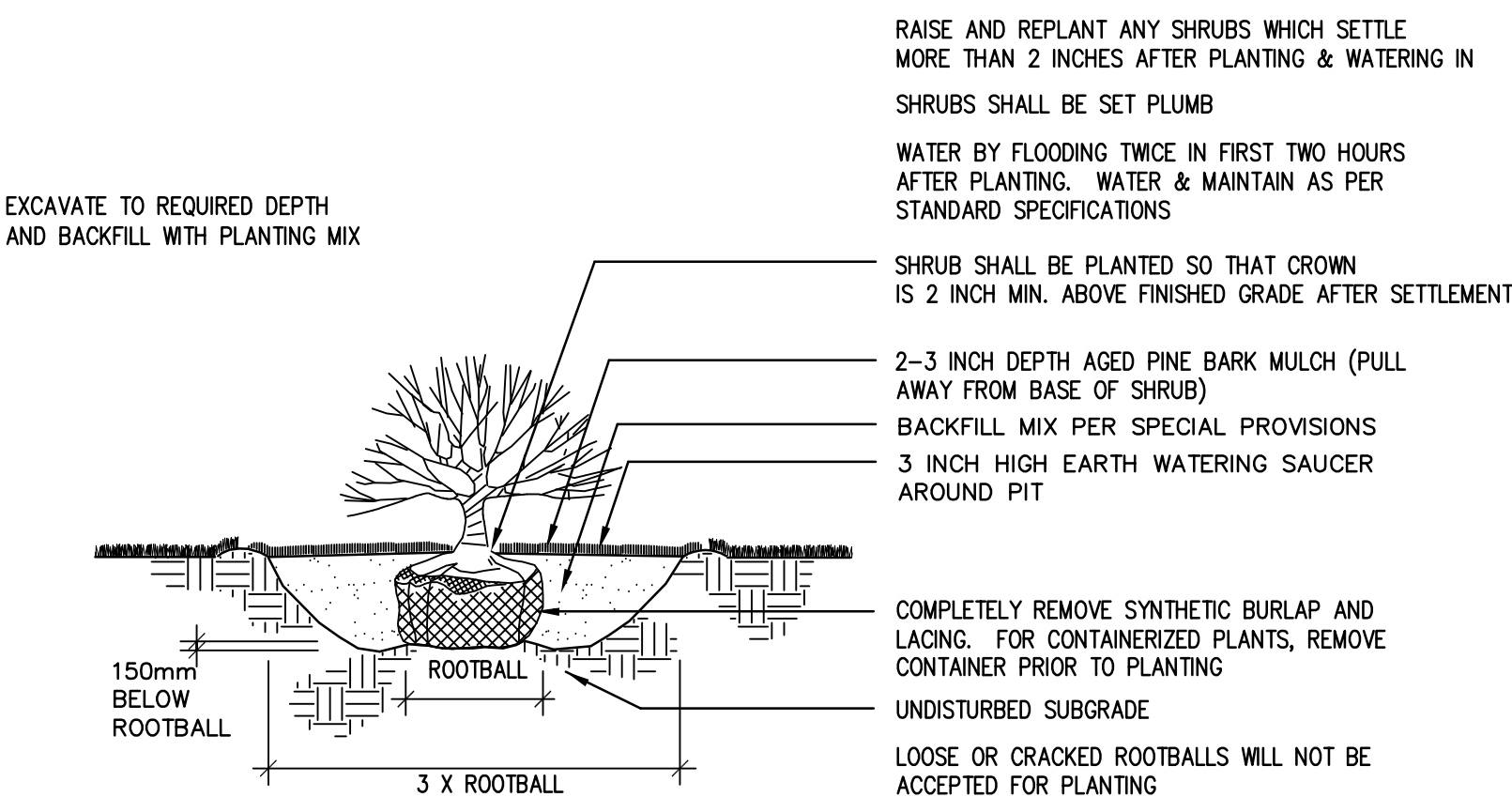
PERENNIAL PLANTING  
NOT TO SCALE



DECIDUOUS TREE PLANTING (SLOPE)  
NOT TO SCALE



EVERGREEN TREE PLANTING  
NOT TO SCALE



SHRUB PLANTING  
NOT TO SCALE

PLANTING NOTES

1. FURNISH AND INSTALL PLANTS AS SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR QUANTITY OF SHRUBS GRAPHICALLY SHOWN ON PLANS. IF THERE IS A DISCREPANCY BETWEEN PLANT LIST QUANTITIES AND GRAPHICS, THE GRAPHIC SHALL TAKE PRECEDENCE.
2. PRIOR TO THE START OF EXCAVATION FOR THE PROJECT BOTH ON AND OF THE SITE, THE CONTRACTOR SHALL NOTIFY DISAFE AND BE PROVIDED A DISAFE NUMBER INDICATING THAT EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
3. CONTRACTOR SHALL BEGIN 90 DAY MAINTENANCE PERIOD IMMEDIATELY UPON PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE.
4. CONTRACTOR SHALL VERIFY TREE REMOVALS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START.
5. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
6. MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
7. PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
8. PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
9. PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
10. MULCH FOR PLANTED AREAS TO BE AGED PINE BARK: PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
11. PLANTING SOIL MIX: LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C.Y. TO 1 C.Y. OR EQUIVALENT. USE OF PEAT MOSS IS PROHIBITED.
12. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE. REQUEST THE LANDSCAPE ARCHITECT PROVIDE A WRITTEN LETTER OF ACCEPTANCE UPON COMPLETION OF EACH PHASE.
13. PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
14. LANDSCAPE ARCHITECT TO FLAG TREES TO BE TRANSPLANTED PRIOR TO CONSTRUCTION START.
15. AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED WITH TOPSOIL TO A MINIMUM DEPTH OF 6", AND SEEDED WITH A MIX CONSISTING OF 40% PERENNIAL RYE GRASS, 30% CHEWINGS FESCUE, 30% KENTUCKY BLUEGRASS. REFER TO CIVIL DRAWINGS FOR THE FULL EXTENT OF SITE DISTURBANCE. ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDED REGARDLESS OF WHETHER THEY ARE SHOWN ON THIS PLAN.
16. SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.
17. THERE SHALL BE NO SUBSTITUTION OF PLANT SPECIES WITHOUT AUTHORIZATION BY THE LANDSCAPE ARCHITECT.
18. NO PLANTING SHALL BE INSTALLED BEFORE ACCEPTANCE OF ROUGH GRADING.
19. PLANTS TO BE THOROUGHLY WATERED AFTER INSTALLATION, AT LEAST TWICE WITHIN THE FIRST 24 HOURS.
20. DETENTION BASIN MIX TO CONSIST OF "NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES" SUPPLIED BY NEW ENGLAND WETLAND PLANTS, INC. (OR EQUAL) TO INCLUDE: SWITCHGRASS (PANICUM VIRGATUM), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), CREEPING RED FESCUE (FESTUCA RUBRA), FOX SEDGE (CAREX VULPINOIDEA), CREEPING BENTGRASS (AGROSTIS STOLONIFERA), SILKY WILD RYE (ELYMUS VILLOSUS), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), SOFT RUSH (JUNCUS EFFUSUS), FLAT-TOP ASTER (ASTER UMBELLATUS), NODDING BUR-MARIGOLD (BIDENS CERNUA), JOE-PYE WEED (EUPATORIUM MACULATUM), BONESET (EUPATORIUM PERFOLIATUM), GRASS-LEAVED GOLDENROD (SOLIDAGO GRAMINIFOLIA), GREY GOLDENROD (SOLIDAGO NEMORALIS).

REV	DATE	DESCRIPTION
1	2/21/2018	TOWN & PEER REVIEW COMMENTS

ISSUE TYPE:  
Permit  
ISSUE DATE:  
11/14/2017  
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17-22

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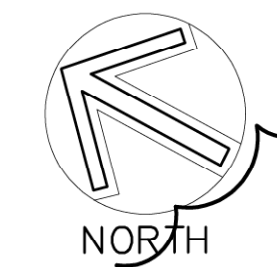
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PLANTING  
DETAILS



PROPOSED MIXED - USE DEVELOPMENT

29 WALL STREET  
FOXBOROUGH, MA 02035

OWNER/APPLICANT: CHARLES RIVER EQUITY PARTNERS, LLC



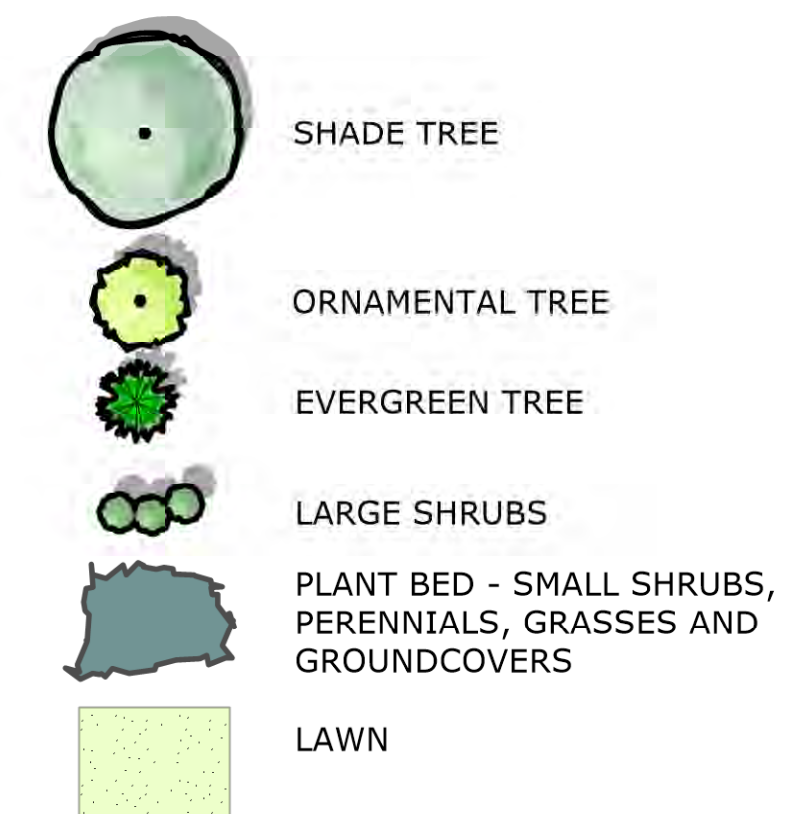
PLANTING PLAN  
SCALE 1"=30'-0"

SAMPLE PLANT SCHEDULE

PLANT SCHEDULE			
Latin Name	Common Name	Scheduled Size	Remarks
<b>Shade Trees</b>			
Platanus acerifolia 'Bloodgood'	Bloodgood Planetree	2.5-3" Cal.	B&B, Full, Symmetrical, Specimen, High Branched
Quercus palustris	Pin Oak	2.5-3" Cal.	B&B, Full, Symmetrical, Specimen, High Branched
Ulmus americana 'Valley Forge'	Valley Forge Elm	2.5-3" Cal.	B&B, Full, Symmetrical, Specimen, High Branched
Gleditsia triacanthos inermis 'Skyline'	Skyline Honeylocust	2.5-3" Cal.	B&B, Full, Symmetrical, Specimen, High Branched
<b>Ornamental Trees</b>			
Betula nigra 'Heritage'	Heritage River Birch	8-10' Ht.	B&B, multi-trunk, specimen
Cornus kousa	Kousa Dogwood	8-10' Ht.	B&B, multi-trunk, specimen
Magnolia virginiana	Sweet Bay Magnolia	8-10' Ht.	B&B, multi-trunk, specimen
Pyrus calleryana 'Aristocrat'	Aristocrat Pear	2.5-3" Cal.	B&B, Full, Symmetrical, Specimen, High Branched
<b>Evergreen Trees</b>			
Abies concolor	White Fir	6'-7' Ht.	B&B, full, symmetrical, strong central leader
Cupressus leylandii	Leyland Cypress	6'-7' Ht.	B&B, full, symmetrical, strong central leader
Picea abies	Norway Spruce	6'-7' Ht.	B&B, full, symmetrical, strong central leader
Picea glauca	White Spruce	6'-7' Ht.	B&B, full, symmetrical, strong central leader
<b>Shrubs</b>			
Buddleia davidii 'Black Knight'	Black Knight Butterfly Bush	5 Gal.	container
Cornus alba 'Sibirica'	Redtwig Dogwood	24-30" Ht.	container
Azalea x 'Delaware Valley White'	Delaware Valley White Azalea	18-24" Ht.	container
Forsythia intermedia	Border Forsythia	3-4' Ht.	container
Hydrangea macrophylla 'Nikko Blue'	Nikko Blue Hydrangea	7 Gal.	container
Hibiscus syriacus	Rose-of-Sharon, Althea, Shrub Althea	3-4' Ht.	container
Ilex glabra 'Densa'	Densa Inkberry Holly	30-36" Ht.	container
Ilex x meserveae	Blue Holly	24-30" Ht.	container, 1 Male per 4 Female
Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	3 Gal.	container
Juniperus chinensis 'Sea Green'	Sea Green Juniper	18-24" Ht.	container
Juniperus horizontalis 'Bar Harbor'	Bar Harbor Juniper	3 Gal.	container
Kalmia latifolia 'Olympic Fire'	Olympic Fire Mountain Laurel	24-30" Ht.	container
Microbiota decussata	Siberian Cypress	3 gal.	container

Microbiota decussata	Siberian Cypress	3 gal.	container
Rhododendron 'PJM'	PJM Rhododendron	18-24" Ht.	container
Physocarpus opulifolium 'Diabolo'	Ninebark	3-4' Ht.	container
Rhododendron 'Chionoides'	Chionoides Rhododendron	18-24" Ht.	container
Rosa x 'Knock Out'	Knock Out Rose	5 Gal.	container
Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spirea	5 Gal.	container
Spiraea japonica 'Shirobana'	Shirobana Spirea	3 Gal.	container
Taxus cuspidata 'Capitata'	Cap Yew	30"-36" Ht.	container
Thuja occidentalis 'Emerald'	Emerald Arborvitae	3-4' Ht.	container
Viburnum plicatum tomentosum 'Shasta'	Shasta Viburnum	30-36" Ht.	container
Viburnum trilobum	American Cranberrybush	30-36" Ht.	container
<b>Perennials</b>			
Hosta 'Frances'	Variegated Hosta	1 Gal.	container
Hosta x 'Big Daddy'	Big Daddy Plantain Lily	1 Gal.	container
Hemerocallis x 'Pardon Me'	Pardon Me Dwarf Daylily	1 Gal.	container
Hemerocallis x 'Stella de Oro'	Stella De Oro Dwarf Daylily	1 Gal.	container
Lilhope muscari 'Variegata'	Variegated Lilyturf	1 Gal.	container
Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	1 Gal.	container
Perovskia atriplicifolia	Russian Sage	1 Gal.	container
Rudbeckia fulgida 'Goldsturm'	Goldsturm Black Eyed Susan	1 Gal.	container
<b>Grasses</b>			
Carex pennsylvanica	Oak Sedge	3" plugs	Container, 12" O.C.
Chasmanthium latifolium	Northern Sea Oats	1 Gal.	Container, 30" O.C.
Echinacea purpurea 'Harvest Moon'	Purple Coneflower	1 Gal.	Container, 24" O.C.
Eragrostis spectabilis	Purple Lovegrass	1 Gal.	Container, 30" O.C.
Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 Gal.	Container, 30" O.C.
Pennisetum alopecuroides	Fountain Grass	1 Gal.	container

LEGEND



1	2/21/2018	TOWN & PEER REVIEW COMMENTS
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REV	DATE	DESCRIPTION
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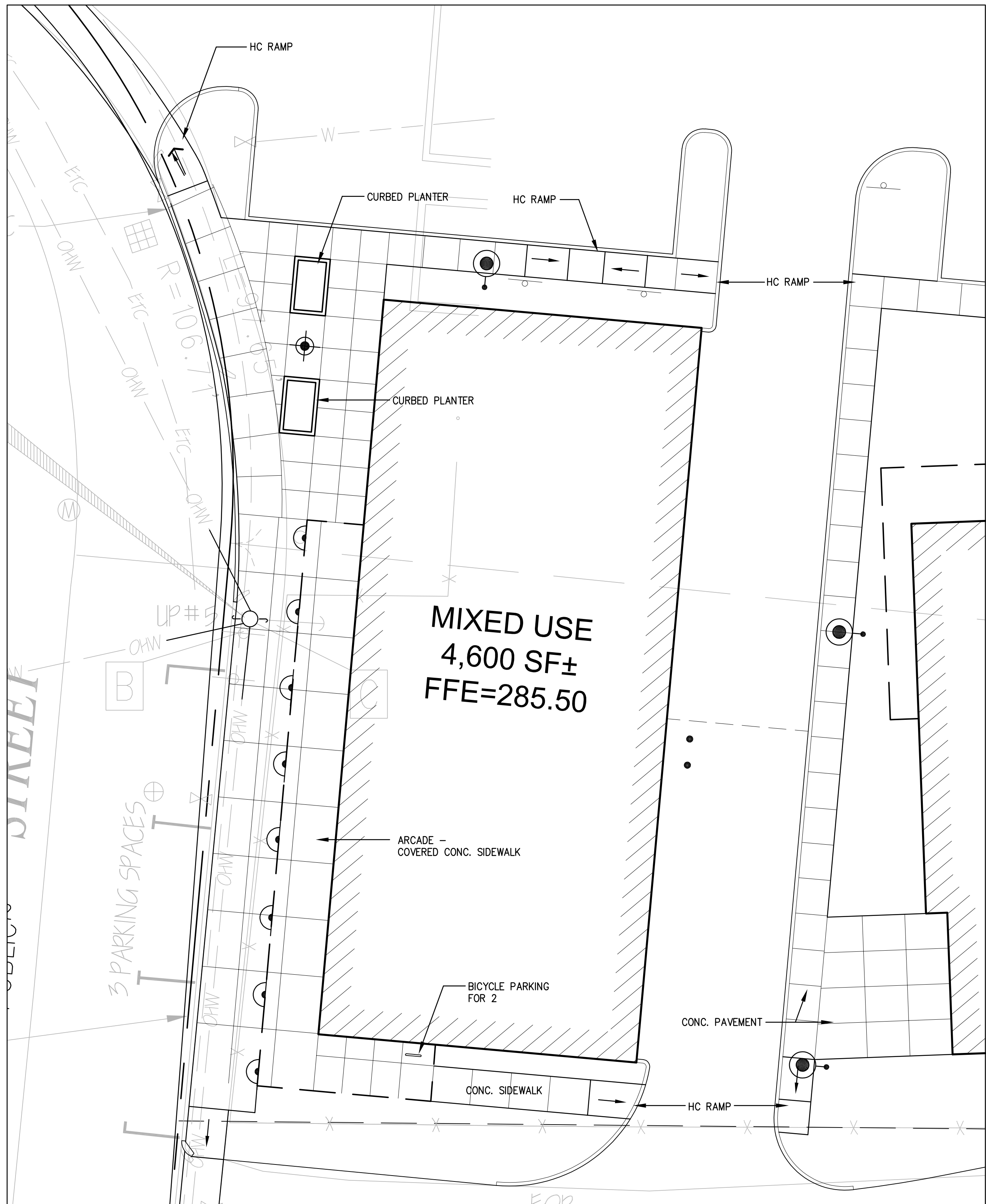
ISSUE TYPE:  
Permit  
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17-22

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SHEET TITLE:  
**LANDSCAPE PLAN**

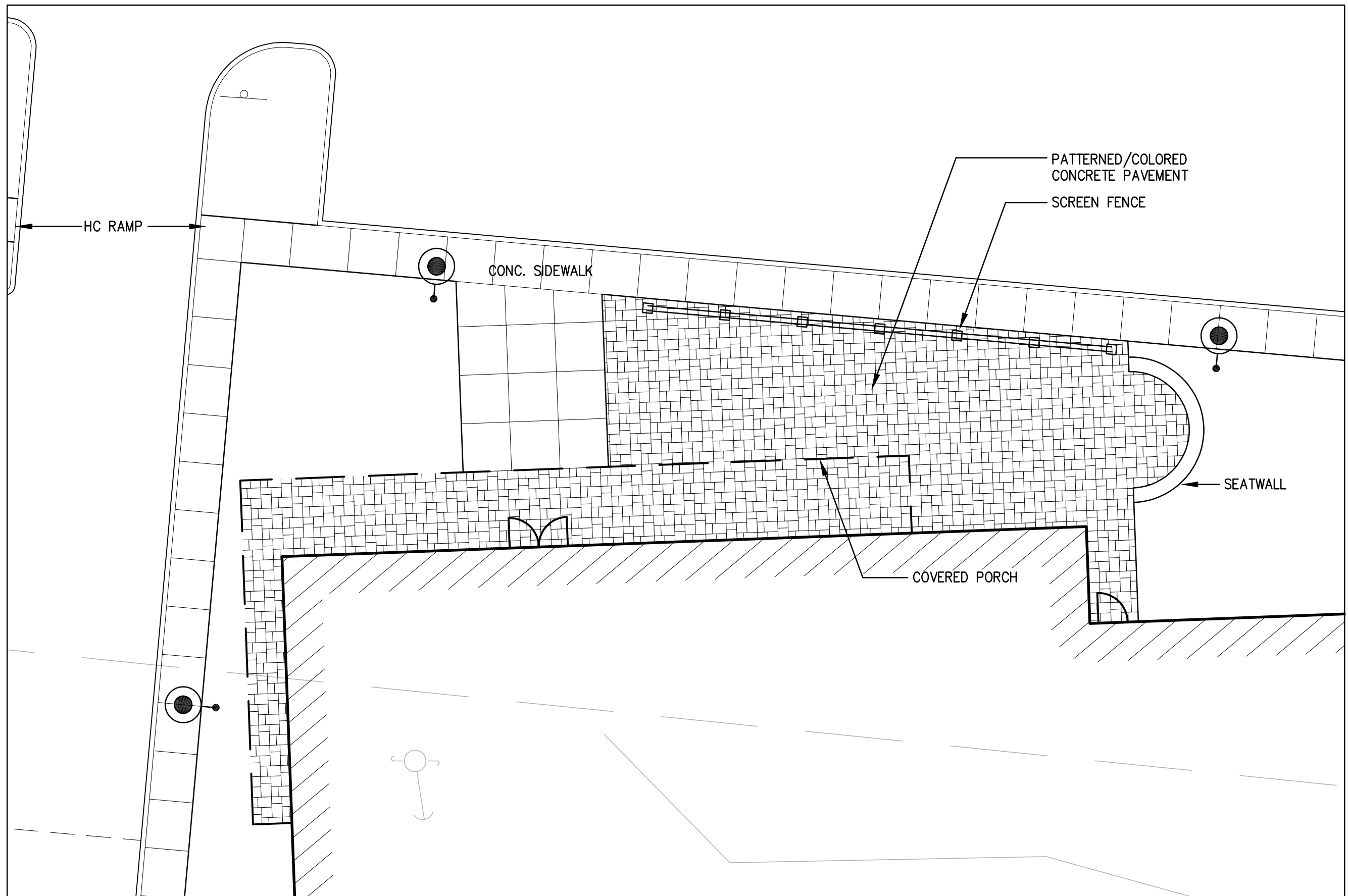
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**L202**





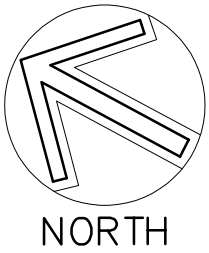
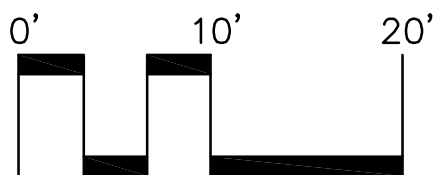
RETAIL FRONTAGE ENLARGEMENT

SCALE 1"=10'-0"



PATIO ENLARGEMENT

SCALE 1"=10'-0"



**HIGHPOINT ENGINEERING, INC.**  
CANTON CORPORATE PLACE  
45 DAN ROAD, SUITE 140 | CANTON, MA 02021  
t 781.770.0970 | www.highpointeng.com

CLIENT:

**CHARLES RIVER EQUITY PARTNERS, LLC**  
21 MILLER STREET, MEDFORD MA 02052

CONSULTANT:

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SEAL

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SHEET TITLE:  
**ENLARGEMENTS**

SHEET NUMBER:  
**L203**